



CITY OF LEEDS, ALABAMA

PLANNING AND ZONING COMMISSION AGENDA

1412 9th St - Annex

March 09, 2023 @ 5:00 PM

CALL TO ORDER:

ROLL CALL:

DETERMINATION OF QUORUM:

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):

1. Minutes of January 12, 2023 Meeting

OLD BUSINESS:

2. RA22-000005 - A request by Linda Miller, Applicant, and Owner, to rezone certain parcels from R-2, Single Family District to T-3, Form Based Code, at 8163 Lawley Ave, 35094, TPID 2500164013009000, Jefferson County.

NEW BUSINESS:

3. SA23-000002 - A request by Tyler Harper, Agent, Smith Douglas Homes, Owner, An application for a resurvey plat " Dansby " approval has been filed for "139 single family lots " (a reduction in lots) located at 9119 Weaver Ave, Leeds, AL 35094, TPID(s) 2601110001047003, 047.006, 032.000, 030.037, & 047.003., Zoned R-5, Garden Home District, St. Clair Co
4. SA23-000004 - An application by MTRR Engineers, Inc., for subdivision plat approval has been filed with the City of Leeds Planning and Zoning Commission for "RESURVEY OF LOTS 22-24 OF CLAIRMONT PARK PHASE V". This proposed subdivision consists of 2 lots located at 0 Jardin Cir, TPID (s) 2601110001030065, 064, & 063, Zoned R-5, Garden Home District, St. Clair Co.

PUBLIC ADDRESS:

OTHER BUSINESS:

CHAIRPERSON'S COMMUNICATION:

ADJOURNMENT:

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

File Attachments for Item:

1. Minutes of January 12, 2023 Meeting



CITY OF LEEDS, ALABAMA

PLANNING AND ZONING COMMISSION MINUTES

1412 9th St - Annex

January 12, 2023 @ 5:00 PM

CALL TO ORDER:

5:00 PM

ROLL CALL:

DETERMINATION OF QUORUM:

Quorum determined.

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):

Minutes of the December 8 and the special called meeting on December 15th were approved as presented.

OLD BUSINESS:

1. RA22-000005 - A request by Linda Miller, Applicant and Owner, to rezone certain parcels from R-2, Single Family District to B-2, General Business District, at 8163 Lawley Ave, 35094, TPID 2500164013009000, Jefferson County.

Removed due the application not being complete.

NEW BUSINESS:

2. RA22-000007 - Planning and Zoning Commission to modify the R-5, Garden Home District and to delete the R-6, Garden Home District from the zoning ordinance.

Commissioner Ken Mudd stated that the committee accomplished what it set out to do.

Linda Massey Woodruff Farms asked questions regarding no longer having front facing garages and alleys.

Motion made by Commissioner Mackey to recommend to Council. Seconded by Commissioner Cauble.

Voting Yea: Commissioner Mudd, Commissioner Cauble, Commissioner Cook, Commissioner Mackey, Commissioner Isbell, Commissioner Watson, Commissioner Washburn.

Motion passes unanimously.

3. SA22-000024 - A request by Christal Grammer, Applicant, AMAC Design Builders, Owners, for Preliminary Plat and Construction Plans for Rockhampton Phase 2 - fifty-one (51) lots, TPID 2500153001004001, Jefferson County, Zoned R-2, Single Family District.

Joey Miller 3 Riverchase Ridge Hoover 35244

The applicant stated that he has addressed all the comments from Mr. Hager.

Mr. Hager stated that he has met with the engineers on several occasions to get a workable plan. Mr. Hager prepared some written comments that he would like the board to consider. They are added to the minutes as follows:

RE: Rock Hampton Subdivision — Proposed Preliminary Plat — Construction Drawings — Phase 2

AMAC Design Builders is requesting Construction Plat Approval for a new Development to be known as Phase II. The nominal lot width is 60.0' and the minimum area is 7500 square feet. The Proposed Sector includes 51 units, for single family homes. The R-2 Setbacks should be clearly noted on the preliminary Plat.

The Developer is specifically made aware, that based on ongoing development problems, and continued complaints and concerns about the performance of the PHASE I, any future work will be closely scrutinized by Staff, and there will be a zero tolerance policy to protect surrounding properties. As recently as December 1, 2022 1 personally witnessed incidents of sediment leaving

the site at Parkway Drive, in the yard of private residences, and also at the church Site near Greenhaven Drive.

I recommend APPROVAL of Preliminary plat and Construction Drawings. I recommend any consideration of this case be made subject to these comments to insure they are included as a part of the zoning case record:

1. The Owners Engineers and I have met on several occasions in order to move the project forward. While I recognize that the overall development erosion problems are a cause for concern, the Design Engineers have provided a detailed BMP Plan with Phases and measurable items which the City can at any time, evaluate if the phased plan has been met. I have made the Engineer for the owners know that the City expects and demands help with the regulation of this plan due to its sensitive nature of the site. Upon complaints or deficiencies found during course of inspections, the Work will be immediately stopped, and the design engineers will be called in to verify and certify the site prior to any new work being completed. BMP work must be done first and will not be allowed to be done at the contractors pleasure. The intent is to not let erosion problems get to the point where the solutions are too difficult to complete in a timely manner.

2. The Design Engineers have provided a Geotechnical Engineer analysis of slopes steeper than 3:1 slope, and the Engineers have specified specific surface treatments of these slopes within the phases of the erosion plans. I am still concerned with the severe slopes. I am particularly concerned that with Medium density and 10'-0" between houses, would make any repair or maintenance on the slopes very difficult. That maintenance will be eventually the responsibility of the Homeowners. The Plans indicate several Lots which are labeled as "Custom Homes" which was explained as Crawl Space homes, or basement homes, in either case are not intended to be Slab type lots. Other lots are called out as "may require walls" which would indicate the design and grading of the lots is so severe that it will not provide the desired building pad with normal slopes. This is also evident on Phase 1, as many lots have installed walls. While these items are issues which are not specifically a requirement of City

regulations, to be clear, the Engineers are telling the Planning Commission its likely to have walls on many of the lots as planned.

3. Both Phases of the Project have encountered storm drainage quantity questions. There have been flooding alleged both on or across private property as well as City Rights of Way. It is unclear if the flooding problems are related to intermediate construction, or final design, however the allegations concern me, and require a detailed storm water design by the engineer. The engineer shall submit a detailed storm drainage report and a certification letter that no adverse effects shall be addressed to the City and HOA. Be advised, the City will require a certification that any approved storm drainage facilities have been installed in accordance with the plans from the Engineer. The Developer should direct the engineer to make whatever inspections he may require in order to make this certification. All storm drainage ponds and facilities located outside of Public right of way will be maintained by the HOA and the certification will be made to that HOA to insure improvements are completed properly. The new Storm drainage ponds shall be completed first and will not be allowed to be installed at the end of the project. The Phase Plans agree with this, and it will be enforced by the City and the design engineer. In addition to the certification, the Engineer will be required to provide a post construction maintenance plan for all ponds at the time of the Final Plat.

4. The Owner / Developer shall be responsible for coordination of other requirements of the subdivision including approval of the sewer design and construction. Water mains, Television and data, natural gas, E911 road Names and address.

5. The development has also has had problems with both Water service and fire protection. Phase I, as you recall was required to install a fire protection booster pump and private lines were required for lots above a certain elevation. The Plan shows an extension of the Private Fire line and a hydrant. I am concerned with the slopes and path of this line, and I have required that no other improvements be placed on the line, and I further recommend that the Pipe be Ductile Iron pipe, and have restrained joints to minimize any leaks. The Developer and engineer shall provide a pressure and report to Leeds Fire to insure fire protection is approved. Plans will need to be specific and include the pump and location details if it is needed for these lots.

6. I have been given a copy of the LWWB approval of the potable water line. The Contractor is specifically put on notice to coordinate all inspections with LWWB. All inspections and approval of water improvements shall be at the discretion of the LWWB. Please note that the Approval notes from LWWB include "approval does not include fire protection" and "some lots may require pressure devices to meet minimum pressures".

7. The City of Leeds shall inspect all roadways and shall be present when the Fire line is installed, and proof roll of sub base prior to placement of base. Failure to coordinate the inspections may require additional surety, or withholding of the FINAL plat approval.

I am requiring and expecting concurrence of the design engineering team in order to insure the development meets the intent of the design plans. At any time, I reserve the right to stop work, and call in the Engineer, at the owner's expense, in order to get confirmation of the status of work, in order to protect the City of Leeds and its residents.

Submitted By:

HagerCo, LLC

Keith L. Hager

No one to speak for or against.

Motion to close public hearing by Commissioner Cauble. Seconded by Commissioner Mackey.

Motion made to approve subject to the City Engineers 3rd review dated January 12, 2023 by Commissioner Mudd. Seconded by Commissioner Washburn.

Voting Yea: Commissioner Mudd, Commissioner Cauble, Commissioner Cook, Commissioner Mackey, Commissioner Isbell, Commissioner Watson, Commissioner Washburn

Motion passes unanimously.

4. SA22-000023 - A request by Christal Grammer, Applicant, Sheridan South LLC,/ John R. Frawley, Jr., Owner, to resurvey Lots 1-4. 6-10, 13 & 14 of Block 15A of the Survey of Leeds, into two (2) lots located at 8412 Thornton Ave, 35094, TPID(s) 2500211016007000 & 2500211016012000, Zoned I-1, Light Industrial, Jefferson County.

Joey Miller 3 Riverchase Ridge Hoover 35244

Applicant stated we would like to resurvey ten lots into one lot and two lots into one so that we can build across existing lot lines.

No concerns from Staff.

No one to speak for or against.

Motion to close public hearing by Commissioner Cauble. Seconded by Commissioner Mackey

Motion to approve made by Commissioner Mackey, Seconded by Commissioner Washburn.

Voting Yea: Commissioner Mudd, Commissioner Cauble, Commissioner Cook, Commissioner Mackey, Commissioner Isbell, Commissioner Watson, Commissioner Washburn.

Motion passes unanimously.

5. SA22-000025 - Withdrawn by Applicant 1/11/2021- A request by Joe Schifano, Applicant, Wellington Development Owner, for final plat approval of Southern Trace Sector 5, located at 1930 Hawks Rd, Leeds, AL 35094, TPID 2400254000003000, Zoned R-5, Garden Home District, Jefferson County.

Withdrawn by applicant.

PUBLIC ADDRESS:

Susan Carswell wanted to commend the board on R-5.

OTHER BUSINESS:

Election of Officers

Motion to continue with Commissioner Cook as Chairman by Commissioner Macky . Seconded by Commissioner Mudd

Voting Yea: Commissioner Mudd, Commissioner Cauble, Commissioner Cook, Commissioner Mackey, Commissioner Isbell, Commissioner Watson, Commissioner Washburn

Motion to continue with Commissioner Mackey as Vice Chair by Commissioner Washburn. Seconded by Commissioner Cauble.

Voting Yea: Commissioner Mudd, Commissioner Cauble, Commissioner Cook, Commissioner Mackey, Commissioner Isbell, Commissioner Watson, Commissioner Washburn

Motion to continue with Commissioner Secretary/Treasurer by Commissioner Mackey. Seconded by Commissioner Mudd.

Voting Yea: Commissioner Mudd, Commissioner Cauble, Commissioner Cook, Commissioner Mackey, Commissioner Isbell, Commissioner Watson, Commissioner Washburn

CHAIRPERSON'S COMMUNICATION:

None.

ADJOURNMENT:

5:23 PM

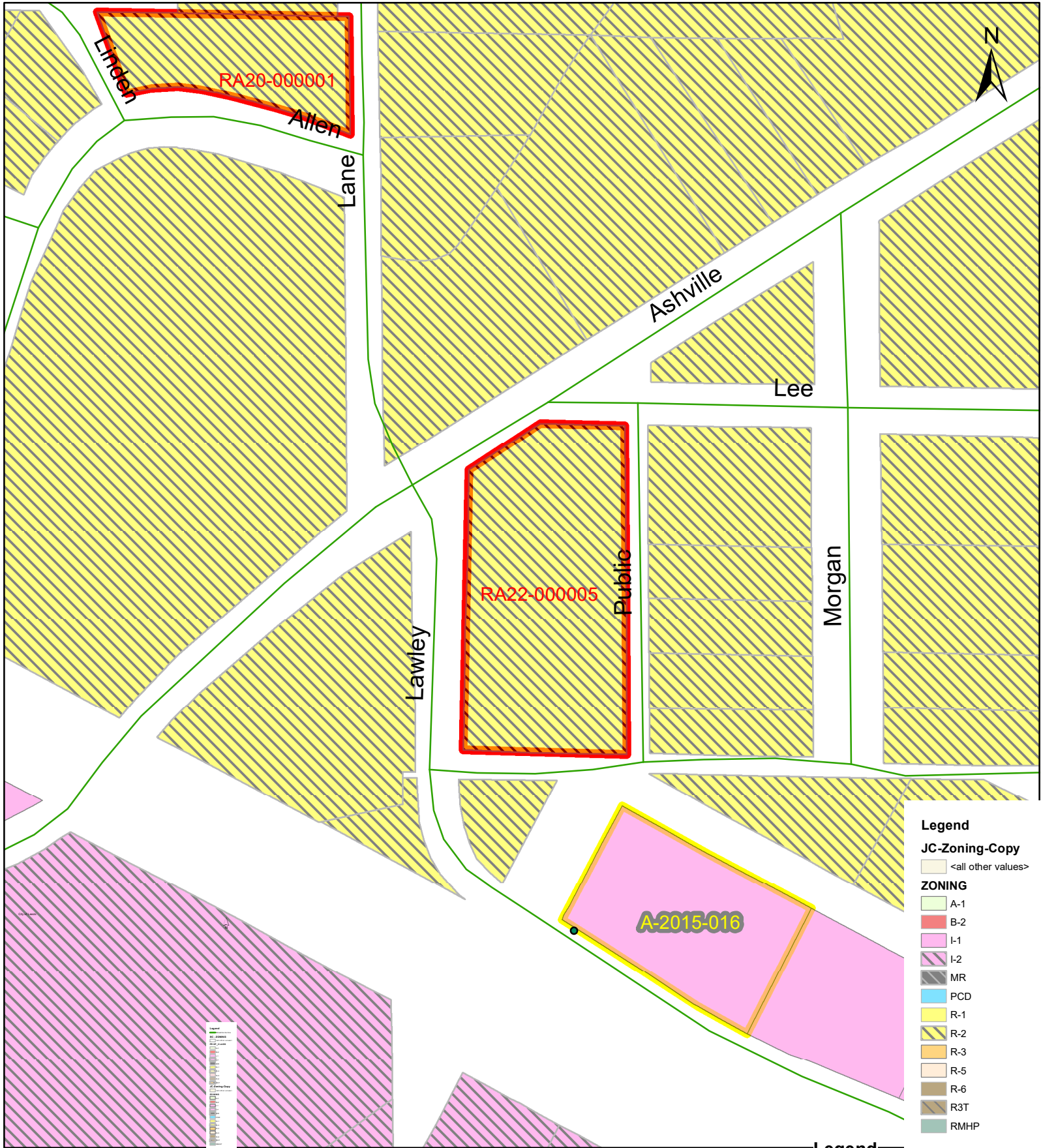
Mr. Eddie Cook, Chairman

Ms. Kelly Washburn, Secretary

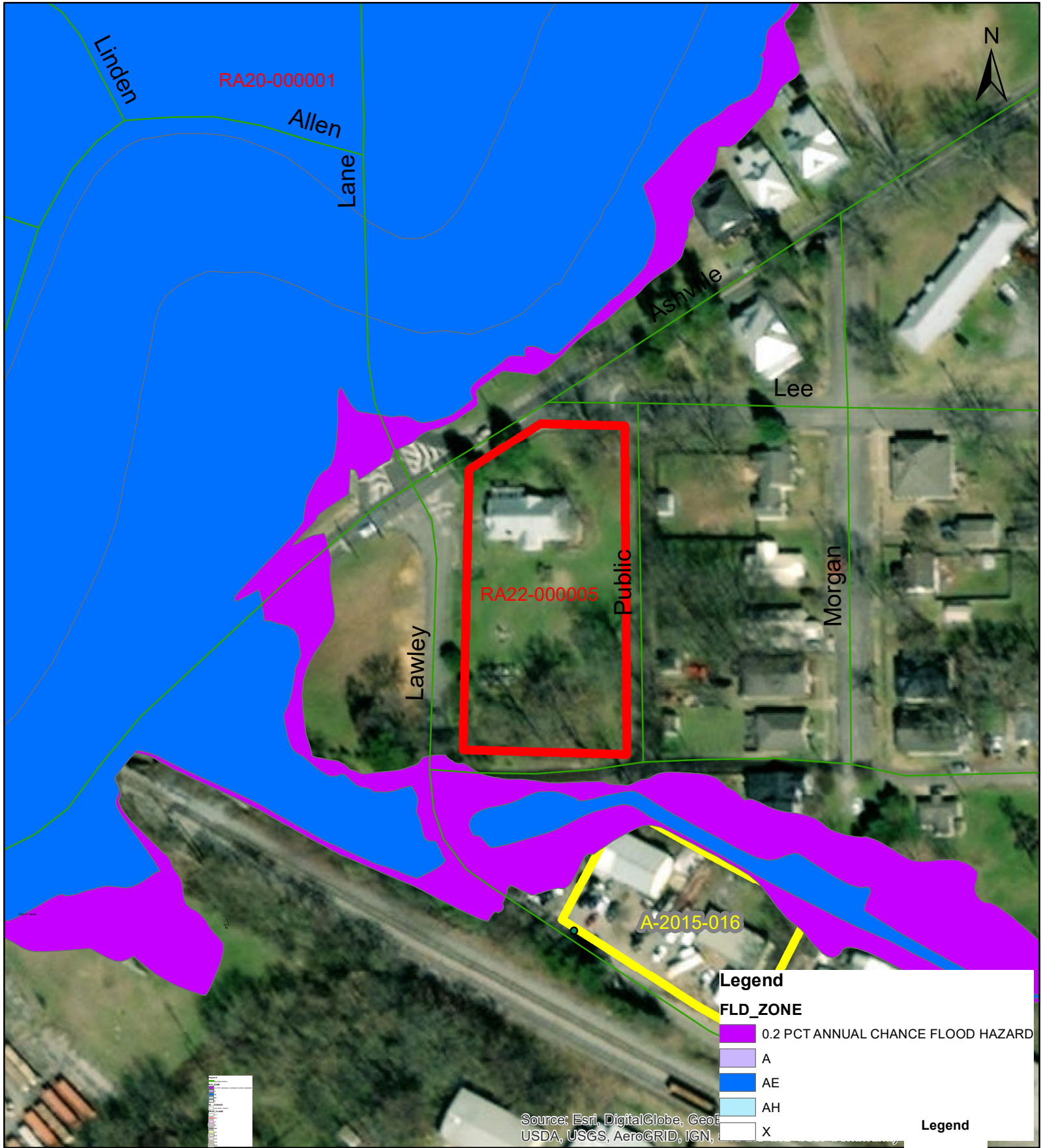
File Attachments for Item:

2. RA22-000005 - A request by Linda Miller, Applicant, and Owner, to rezone certain parcels from R-2, Single Family District to T-3, Form Based Code, at 8163 Lawley Ave, 35094, TPID 2500164013009000, Jefferson County.

RA22-00005
8163 LAWLEY AVE
2500164013009000
ZONE



RA22-00005
8163 LAWLEY AVE
2500164013009000
FLOOD



REZONING APPLICATION FOR THE CITY OF LEEDS, ALABAMA
DEPARTMENT OF INSPECTION SERVICES- ZONING DIVISION
1404 9th STREET, LEEDS, AL 35094 P.205.699.2585
INSPECTIONS@LEEDSALABAMA.GOV * leedsalabama.gov

Part 1. Application	
Name of Applicant: Gerald Miller - Linda Miller	
Mailing Address: PO Box 190 Leeds, AL 35094	
Telephone: 205-222-2111	E-mail: lmiller@qsilab.com
Signature: <i>Linda Miller</i>	
Date Application Filed:	Requested Hearing Date:

Part 2. Parcel Data		
Owner of Record: Linda S. Miller		
Owner Mailing Address: PO Box 190 Leeds, AL 35094		
Site Address: 8163 Lawley Ave. Leeds, AL 35094		
Tax Parcel ID # 2500164013009,000	Existing Zoning:	Proposed Zoning:
Telephone: 205-222-2111	E-Mail: lmiller@qsilab.com	
Signature of Authorization by Owner: <i>Linda Miller</i>		

Part 3. Request	
Reason for Request:	
Proffer of rezoning conditions (if any)	

Part 4 Enclosures (Check all required enclosures with this application)	
<input type="checkbox"/> Application Fee	
<input type="checkbox"/> Reason for Request	
<input type="checkbox"/> Legal Description of the subject Property	
<input type="checkbox"/> Vicinity Map	
<input type="checkbox"/> Availability of Required Utilities	
<input type="checkbox"/> Site Plan	
<input type="checkbox"/> Proffer of rezoning conditions (if any)	

NOTICE: The completed application and all required attachments must be filed at least 30 (thirty) days prior to the Leeds Zoning Board of Adjustments Public Hearing. A representative must be present at the hearing.

FOR OFFICE USE ONLY	
Application Number:	Date Received:
Received by:	Scheduled Public Hearing Date:

71,450

THIS INSTRUMENT PREPARED BY:
HILL, WEISSKOPF & HILL, P.C.
Post Office Box 310
Moody, Alabama 35004

Send Tax Notice To:
Post Office Box 190
Leeds, AL 35094

WARRANTY DEED

STATE OF ALABAMA
JEFFERSON COUNTY


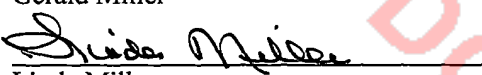
KNOW ALL MEN BY THESE PRESENTS, That in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration to the undersigned Grantor (whether one or more), in hand paid by the Grantee herein, the receipt whereof is acknowledged, I or we, Gerald Miller and wife, Linda Miller (herein referred to as Grantor, whether one or more), grant, bargain, sell and convey unto Linda S. Miller (herein referred to as Grantee, whether one or more), the following described real estate, situated in Jefferson County, Alabama, to-wit:

Lots 1, 2, 3, 4, 5 and 6, Block 6, according to the Survey of Lee Spruiell Land Company's first Addition to Leeds, Alabama, as recorded in Map Book 7, page 53, in the probate Office of Jefferson County, Alabama

TO HAVE AND TO HOLD to the said Grantee, his, her or their heirs and assigns forever.

And I (we) do, for myself (ourselves) and for my (our) heirs, executors and administrators, covenant with said Grantee, his, her or their heirs and assigns, that I am (we are) lawfully seized in fee simple of said premises; that they are free from all encumbrances, unless otherwise stated above; that I (we) have a good right to sell and convey the same as aforesaid; that I (we) will, and my (our) heirs, executors and administrators shall warrant and defend the same to the said Grantee, his, her or their heirs and assigns forever, against the lawful claims of all persons.

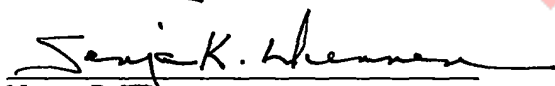
IN WITNESS WHEREOF, I (we) have hereunto set my (our) hand(s) and seal(s) this 27 day of August, 2015.

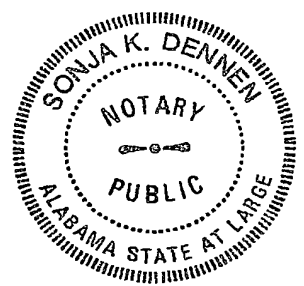

Gerald Miller

Linda Miller

STATE OF ALABAMA
ST. CLAIR COUNTY

I, the undersigned authority, a Notary Public in and for said County in said State, hereby certify that Gerald Miller and Linda Miller, whose name(s) are signed to the foregoing conveyance, and who are known to me, acknowledged before me on this day that, being informed of the contents of the conveyance, they executed the same voluntarily on the day the same bears date.

Given under my hand and official seal this 27 day of August, 2015.


Notary Public



My Commission Expires: 6/1/2018

Real Estate Sales Validation Form

This Document must be filed in accordance with Code of Alabama 1975, Section 40-22-1

Grantor's Name Gerald Miller
Mailing Address Post Office Box 190
Leeds, AL 35094

Grantee's Name Linda Miller
Mailing Address Post Office Box 190
Leeds, AL 35094

Property Address 8163 Lawley Ave.
Leeds, AL 35094

Date of Sale August 27, 2015
Total Purchase Price \$ _____
or
Actual Value \$ _____
or 71,450.00
Assessor's Market Value \$ _____

The purchase price or actual value claimed on this form can be verified in the following documentary evidence: (check one) (Recordation of documentary evidence is not required)

- Bill of Sale
- Sales Contract
- Closing Statement
- Appraisal
- Other Spouse deeding to spouse

If the conveyance document presented for recordation contains all of the required information referenced above, the filing of this form is not required.

Instructions

Grantor's name and mailing address - provide the name of the person or persons conveying interest to property and their current mailing address.

Grantee's name and mailing address - provide the name of the person or persons to whom interest to property is being conveyed.

Property address - the physical address of the property being conveyed, if available.

Date of Sale - the date on which interest to the property was conveyed.

Total purchase price - the total amount paid for the purchase of the property, both real and personal, being conveyed by the instrument offered for record.

Actual value - if the property is not being sold, the true value of the property, both real and personal, being conveyed by the instrument offered for record. This may be evidenced by an appraisal conducted by a licensed appraiser or the assessor's current market value.

If no proof is provided and the value must be determined, the current estimate of fair market value, excluding current use valuation, of the property as determined by the local official charged with the responsibility of valuing property for property tax purposes will be used and the taxpayer will be penalized pursuant to Code of Alabama 1975 § 40-22-1 (h).

I attest, to the best of my knowledge and belief that the information contained in this document is true and accurate. I further understand that any false statements claimed on this form may result in the imposition of the penalty indicated in Code of Alabama 1975 § 40-22-1 (h).

Date _____

Print James E. Hill, Jr.

Unattested _____
(verified by)

Sign [Signature]
(Grantor/Grantee/Owner/Agent) circle one

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
Planning and Zoning Commission

Application for Rezoning
Site Addresses: 8163 LAWLEY AVE LEEDS, AL 35094

APPLICATION

This request for a zoning change is initiated by MILLER LINDA S.. The City of Leeds Planning & Zoning Commission will consider the request to rezone the described property from R-2, Single-Family Dwelling District, to B-2, General Business District.

PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission is an advisory body to the City of Leeds City Council. The recommendation of the Planning and Zoning Commission is non-binding, and the final determination of this rezoning request is vested solely with the City Council.

CASE #:	RA22-000005
PROPERTY OWNERS:	MILLER LINDA S.
TAX PARCEL IDs:	2500164013009000
SITE ADDRESSES:	8163 LAWLEY AVE; LEEDS, AL 35094

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on.

Date: 12/08/2022
Time: 5:00 p.m.
Place: Leeds Annex Meeting Room
1412 9th Street
Leeds, AL 35094

Public Information: Any interested persons or their representative may appear at the meeting and comment on the application - Comments are limited to two (2) minutes. Written comments may also be mailed to the Commission. For more information about the application and related issues or to schedule an appointment:

Contact Person: Brad Watson
Phone: 205-699-0943
E-mail: bwatson@leedsalabama.gov

Mailing Address:
City of Leeds
Planning and Zoning commission
1404 9th Street
Leeds, AL 35094

RA22-00005
8163 LAWLEY AVE
2500164013009000
AERIAL



File Attachments for Item:

3. SA23-000002 - A request by Tyler Harper, Agent, Smith Douglas Homes, Owner, An application for a resurvey plat " Dansby " approval has been filed for "139 single family lots " (a reduction in lots) located at 9119 Weaver Ave, Leeds, AL 35094, TPID(s) 2601110001047003, 047.006, 032.000, 030.037, & 047.003., Zoned R-5, Garden Home District, St. Clair Co

DRAWING INDEX

DRAWING No.	SHEET No.	DESCRIPTION
GN-1	1	COVER SHEET, SITE LOCATION, AND DRAWING INDEX
GN-2	2	STANDARD LEGEND AND ABBREVIATIONS
GN-3	3	GENERAL NOTES
SV-1	4	EXISTING SURVEY
PL-1	5	PRELIMINARY PLAT SHEET INDEX
PL-2	6	PRELIMINARY PLAT
PL-3	7	PRELIMINARY PLAT
TYP-1	8	TYPICAL ROADWAY SECTION
GM-1A	9	ROADWAY GEOMETRY PLAN - ROAD 1 STA. 0+00.00 TO STA. 10+64.65
GM-1B	10	ROADWAY GEOMETRY PROFILE - ROAD 1 STA. 0+00.00 TO STA. 10+64.65
GM-2	11	ROADWAY GEOMETRY PLAN AND PROFILE - ROAD 2 STA. 0+00.00 TO STA. 10+26.92
GM-3A	12	ROADWAY GEOMETRY PLAN AND PROFILE - ROAD 3 STA. 0+00.00 TO STA. 8+00.00
GM-3B	13	ROADWAY GEOMETRY PLAN AND PROFILE - ROAD 3 STA. 0+00.00 TO STA. 15+44.52
GM-4	14	ROADWAY GEOMETRY PLAN AND PROFILE - ROAD 4 STA. 0+00.00 TO STA. 9+65.33
GM-5	15	ROADWAY GEOMETRY PLAN AND PROFILE - JARDIN CIRCLE AND ROAD 5 STA. 0+00.00 TO STA. 1+41.24
GR-1A	16	ROADWAY GRADING PLAN - ROAD 1 STA. 0+00.00 TO STA. 10+64.65
GR-1B	17	ROADWAY GRADING PROFILE - ROAD 1 STA. 0+00.00 TO STA. 10+64.65
GR-2	18	ROADWAY GRADING PLAN AND PROFILE - ROAD 2 STA. 0+00.00 TO STA. 10+26.92
GR-3A	19	ROADWAY GRADING PLAN AND PROFILE - ROAD 3 STA. 0+00.00 TO STA. 8+00.00
GR-3B	20	ROADWAY GRADING PLAN AND PROFILE - ROAD 3 STA. 0+00.00 TO STA. 15+44.52
GR-4	21	ROADWAY GRADING PLAN AND PROFILE - ROAD 4 STA. 0+00.00 TO STA. 9+65.33
GR-5	22	ROADWAY GRADING PLAN AND PROFILE - JARDIN CIRCLE AND ROAD 5 STA. 0+00.00 TO STA. 1+41.24
DR-1	23	DRAINAGE PLAN AND PROFILES - LINES SL-100A, SL-100B, AND SL-100C
DR-2	24	DRAINAGE PLAN AND PROFILES - LINES SL-200A AND SL-200B
DR-3A	25	DRAINAGE PLAN AND PROFILE - LINE SL-300A
DR-3B	26	DRAINAGE PLAN AND PROFILES - LINES SL-300B, SL-300C, SL-300D, AND SL-300E
DR-3C	27	DRAINAGE PLAN AND PROFILE - LINE SL-300F
DR-4A	28	DRAINAGE PLAN AND PROFILE - LINE SL-400A
DR-4B	29	DRAINAGE PLAN AND PROFILES - LINES SL-400B, SL-400C, SL-400D, AND SL-400E
DR-4C	30	DRAINAGE PLAN AND PROFILES - LINES SL-400F, SL-400G, AND SL-400H
DR-5	31	DRAINAGE PLAN AND PROFILE - LINE SL-500
DR-6	32	DRAINAGE PLAN AND PROFILE - LINE SL-600
PO-1	33	POND OUTLET PLAN AND DETAILS - POND 1
PO-2	34	POND OUTLET PLAN AND DETAILS - POND 2
EC-1	35	EROSION CONTROL PLAN SHEET INDEX
EC-2	36	EROSION CONTROL PLAN
EC-3	37	EROSION CONTROL PLAN
WT-1	38	WATER LINE PLAN SHEET INDEX
WT-2	39	WATER LINE PLAN
WT-3	40	WATER LINE PLAN
SC-1	41	SIGNAGE AND STRIPING PLAN
DT-1	42	EROSION CONTROL DETAILS
DT-2	43	MISCELLANEOUS DETAILS
DT-3	44	UTILITY DETAILS

DANSBY

NOTE: AMENDED PRELIMINARY PLAT FOR CLAIRMONT 6

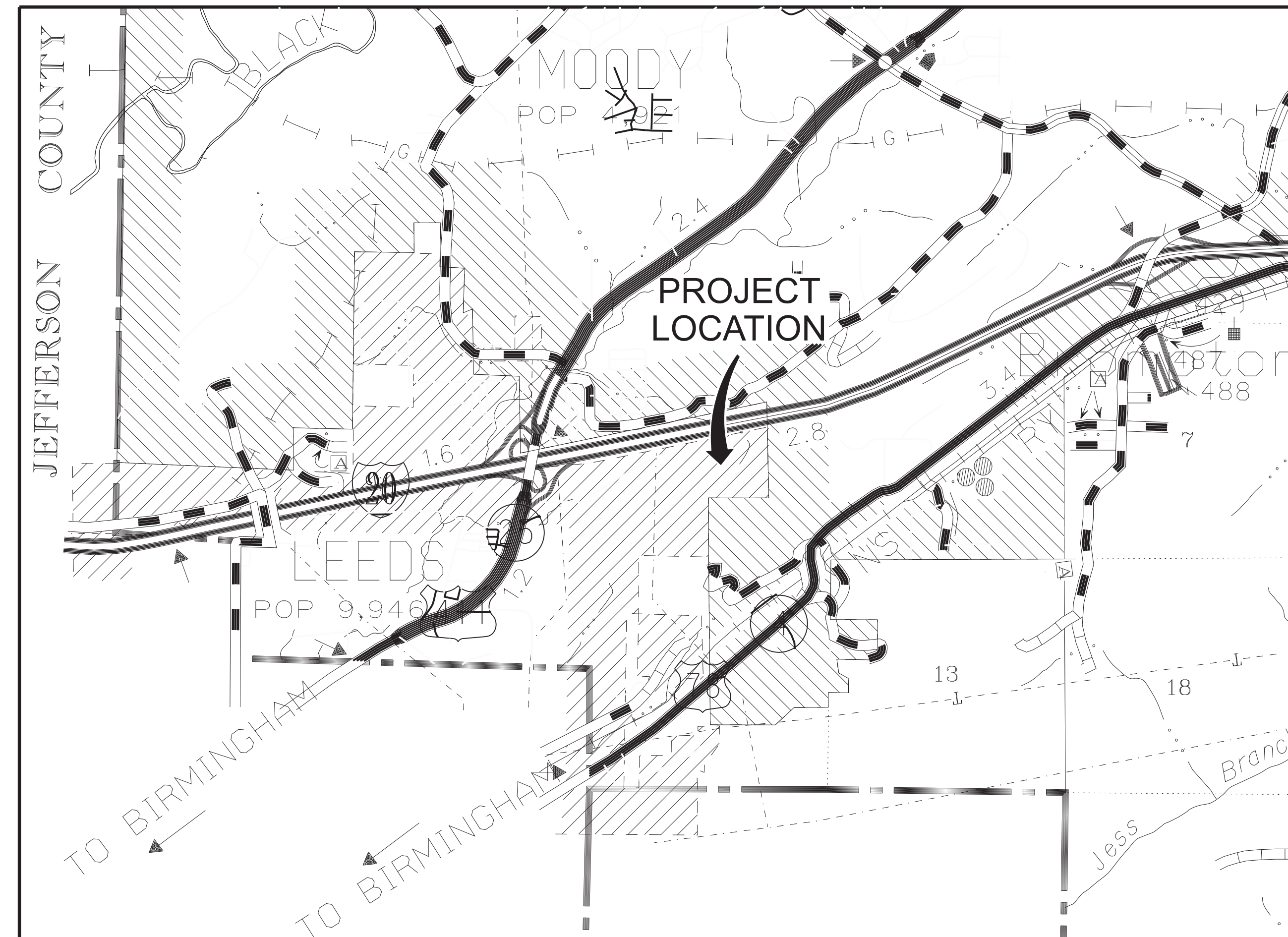
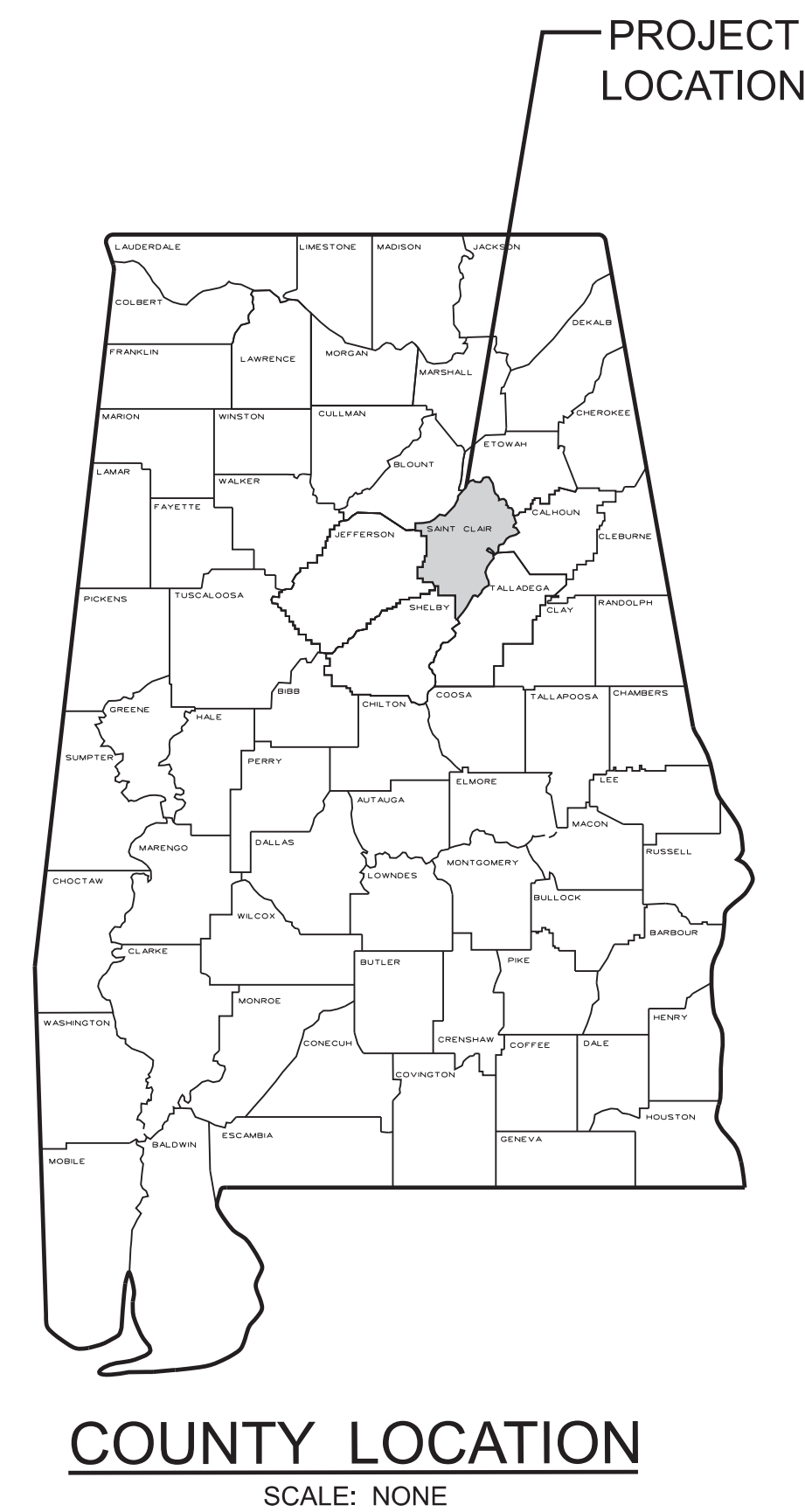
PREPARED BY:



**INSITE
ENGINEERING**

INSITE ENGINEERING, LLC.

5800 FELDSPAR WAY
HOOVER, ALABAMA 35244
OFFICE (205) 733-9696
www.insiteengineering.org



**INSITE
ENGINEERING**

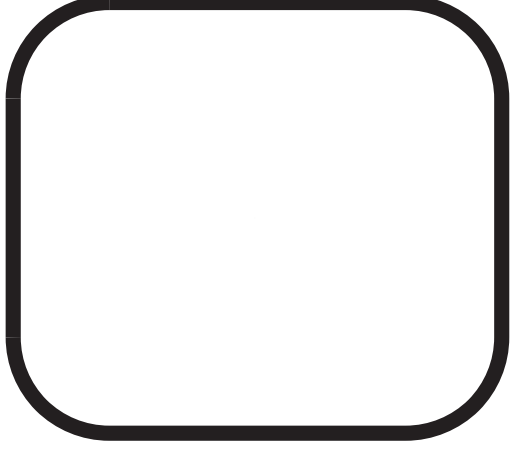
5800 FELDSPAR WAY
HOOVER, ALABAMA 35244
OFFICE (205) 733-9696
www.insiteengineering.org

CIVIL / GIS
INFRASTRUCTURE
ENVIRONMENTAL
PLANNING
COMMERCIAL
RESIDENTIAL

CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA



PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

ALABAMA REGISTERED PROFESSIONAL ENGINEER
JAMES M. CASSIDY
1/18/23

THIS SHEET CONTAINS:
COVER SHEET,
SITE LOCATION,
AND DRAWING
INDEX

SCALE: NONE
SHEET 1 OF 44

GN-1

THIS DRAWING AND THE DESIGN WORK IS THE PROPERTY OF INSITE ENGINEERING, LLC. NO PART OF THIS DRAWING OR DESIGN WORK IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF INSITE ENGINEERING, LLC.

ABBREVIATIONS

ACQ'D	ACQUIRED
AC	ACRE
ALDOT	ALABAMA DEPARTMENT OF TRANSPORTATION
AVE	AVENUE
BM	BENCH MARK
BLDG	BUILDING
BLVD	BOULEVARD
CIP	CAST IRON PIPE
CL	CENTER LINE
CL	CLASS
CONC	CONCRETE
COR	CORNER
CFS	CUBIC FEET PER SECOND
CY	CUBIC YARD
C & G	CURB AND GUTTER
Q	DESIGN FLOW
DIST	DISTANCE
DBL	DOUBLE
Da	DRAINAGE AREA
DI	DUCTILE IRON PIPE
ESMT	EASEMENT
EL	ELEVATION
F	FLOW LINE
FPS	FEET PER SECOND
GAL	GALLON
GPM	GALLONS PER MINUTE
GPD	GALLONS PER DAY
HDWL	HEADWALL
HWEL	HEADWATER ELEVATION
HP	HIGH POINT
HWL	HIGH WATER LEVEL
HORIZ	HORIZONTAL
INV	INVERT
JCT	JUNCTION
JB	JUNCTION BOX
LF	LINEAR FEET
LP	LOW POINT
MB	MAIL BOX
MH	MANHOLE
MP	MILEPOST
MGD	MILLION GALLONS PER DAY
NWL	NORMAL WATER LEVEL
N	NORTHING
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
POT	POINT ON TANGENT
LB	POUND
R	PROPERTY LINE
RR	RAILROAD
R	RANGE
RCP	REINFORCED CONCRETE PIPE
REQ'D	REQUIRED
ROW	RIGHT OF WAY
RD	ROAD
SS	SANITARY SEWER
SEC	SECTION
SHLDR	SHOULDER
SD	SIDE DRAIN
SY	SQUARE YARD
STA	STATION
ST	STREET
TBM	TEMPORARY BENCH MARK
T	TOWNSHIP
VERT	VERTICAL
VLF	VERTICAL FEET
VPC	VERTICAL POINT OF CURVE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENT
VCP	VITRIFIED CLAY PIPE
WL	WATER LEVEL
W	WATER MAIN

STANDARD LEGEND

EXISTING

PROPOSED

		SIDEWALK
		UNPAVED ROAD OR DRIVEWAY
		PAVED ROAD OR DRIVEWAY
		PAVED ROAD WITH GUTTER
		DRAIN WITH HEADWALL (SIZE AND TYPE STRUCTURE NOTED)
		EXISTING BRIDGE, BOX CULVERT, OR STORM DRAIN (SIZE AND TYPE STRUCTURE NOTED)
		WALK BRIDGE
		RAILROAD TRACK SINGLE
		RAILROAD TRACK DOUBLE
		RAILROAD MILEPOST
		OUTDOOR ADVERTISING SIGN
		MASONRY WALL (NOTE TYPE)
		MAILBOX
		CLOTHES LINE AND POLES (NOTED)
		WELL
		LEVEE OR EARTH DAM
		WOOD FENCE
		HOG WIRE OR BARBED WIRE FENCE
		CHAIN LINK FENCE
		DROP INLET (NOTED)

EXISTING

PROPOSED

		SANITARY SEWER MANHOLE
		SANITARY SEWER GRAVITY LINE (NOTE DIA. OF PIPE IF KNOWN)
		SANITARY SEWER FORCE LINE (ARROW INDICATES FLOW)
		UTILITY MANHOLE (NOTE TYPE IN CIRCLE - P.T, ETC.)
		POWER JUNCTION BOX
		POWER POLE
		LIGHT POLE (NOTE TYPE)
		HIGH VOLTAGE TRANSMISSION POLE OR TOWER
		UNDERGROUND POWER CONDUIT
		OVERHEAD POWER LINES
		TELEPHONE JUNCTION BOX
		UNDERGROUND TELEPHONE CONDUIT
		OVERHEAD TELEPHONE LINES
		OVERHEAD TELEPHONE AND POWER LINES
		GUY POLE
		UTILITY POLE ANCHOR
		GAS LINE MARKER (NOTED)
		GAS METER
		GAS LINE (NOTE DIA. OF PIPE IF KNOWN)
		GAS VALVE
		WATER VALVE
		WATER LINE (NOTE DIA. OF PIPE IF KNOWN)
		WATER METER
		FIRE HYDRANT

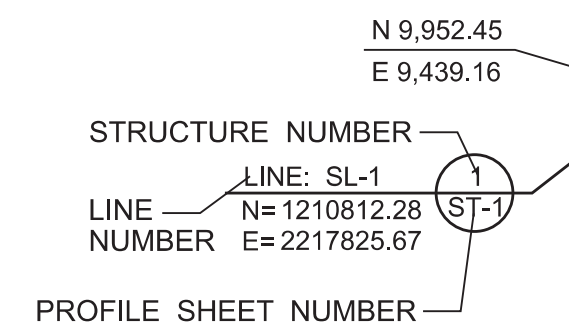
UTILITIES

	SANITARY SEWER MANHOLE
	SANITARY SEWER GRAVITY LINE (NOTE DIA. OF PIPE IF KNOWN)
	SANITARY SEWER FORCE LINE (ARROW INDICATES FLOW)
	UTILITY MANHOLE (NOTE TYPE IN CIRCLE - P.T, ETC.)
	POWER JUNCTION BOX
	POWER POLE
	LIGHT POLE (NOTE TYPE)
	HIGH VOLTAGE TRANSMISSION POLE OR TOWER
	UNDERGROUND POWER CONDUIT
	OVERHEAD POWER LINES
	TELEPHONE JUNCTION BOX
	UNDERGROUND TELEPHONE CONDUIT
	OVERHEAD TELEPHONE LINES
	OVERHEAD TELEPHONE AND POWER LINES
	GUY POLE
	UTILITY POLE ANCHOR
	GAS LINE MARKER (NOTED)
	GAS METER
	GAS LINE (NOTE DIA. OF PIPE IF KNOWN)
	GAS VALVE
	WATER VALVE
	WATER LINE (NOTE DIA. OF PIPE IF KNOWN)
	WATER METER
	FIRE HYDRANT

NATURAL

	TREES. (DRAW DOT TO SCALE OF TREE)
	HEDGES OR SHRUBBERY
	SHRUB
	FLOWER BED, GARDEN, OR ROCK GARDEN (NOTED)
	LAKE OR POND
	SWAMP, MARSH, ETC.
	DITCH OR STREAM (ARROW INDICATES DIRECTION OF FLOW)
	EARTH
	ROCK

	WATTLE DITCH CHECK DAM
	SILT FENCE
	HEADWALL
	DOUBLE WING CURB INLET
	SINGLE WING CURB INLET
	NORTHING & EASTING
	DRAINAGE CALLOUT



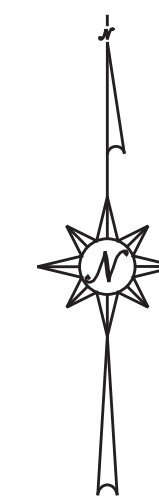
EXISTING

PROPOSED

		PROPERTY IRON (SIZE AND TYPE NOTED)
		PROPERTY LINE
		SECTION CORNER OR 1/4 SECTION CORNER IRON (SIZE, TYPE, AND DESCRIPTION NOTED)
		1/4 OR 1/4 - 1/4 SECTION LINE
		SECTION LINE
		RIGHT OF WAY MONUMENTS (NOTED FOR EXISTING)
		ROW LINE
		CONSTRUCTION LIMITS
		EASEMENT
		CONSTRUCTION EASEMENT

SURVEY

	PROPERTY IRON (SIZE AND TYPE NOTED)
	PROPERTY LINE
	SECTION CORNER OR 1/4 SECTION CORNER IRON (SIZE, TYPE, AND DESCRIPTION NOTED)
	1/4 OR 1/4 - 1/4 SECTION LINE
	SECTION LINE
	RIGHT OF WAY MONUMENTS (NOTED FOR EXISTING)
	ROW LINE
	CONSTRUCTION LIMITS
	EASEMENT
	CONSTRUCTION EASEMENT



NORTH ARROW

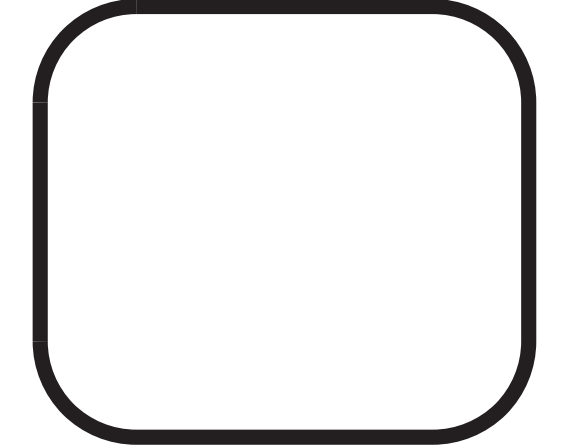
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RESIDENTIAL

CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA



PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

ALABAMA REGISTERED PROFESSIONAL ENGINEER
JAMES M. CASIDY
1/18/23

THIS SHEET CONTAINS:
STANDARD LEGEND
AND ABBREVIATIONS

SCALE: NONE
SHEET 2 OF 44

GN-2

811
Know what's below.
Call before you dig.

THIS DRAWING AND THE DESIGN WORK IS THE PROPERTY OF INSITE ENGINEERING, LLC. NO PART OF THIS DRAWING OR DESIGN WORK IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF INSITE ENGINEERING, LLC.

PROJECT SPECIFIC NOTES

1. FLOOD HAZARD RISK, IF ANY, ASSOCIATED WITH THIS PROPERTY MAY BE FOUND IN THE DETAILED DRAINAGE REPORT. THIS INFORMATION HAS BEEN OBTAINED FROM THE FEMA MAPPING SERVICE AND FOR FURTHER INFORMATION SEE THE APPROPRIATE FEMA FLOOD PANEL.
2. A SUBSURFACE INVESTIGATION HAS NOT BEEN DONE. INSITE ENGINEERING, LLC ALWAYS RECOMMENDS OBTAINING A GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION. FILL COMPACTION REQUIREMENTS, FILL TYPE REQUIREMENTS, AND PAVEMENT BUILD UPS SHOULD BE DIRECTED AND PROVIDED BY THE GEOTECHNICAL ENGINEER.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS AND DESIGN STANDARDS OF THE GOVERNING AUTHORITY.
4. CONTRACTOR IS RESPONSIBLE FOR BUILDING SITES FREE OF DRAINAGE PROBLEMS DUE TO ANY DEVIATION FROM THE DESIGN PLANS.
5. GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ANY DRAINAGE EASEMENT OUTSIDE THE PUBLIC RIGHT-OF-WAY.
6. THE GOVERNING AUTHORITY IS NOT, NOR EVER WILL BE, RESPONSIBLE FOR MAINTENANCE OF PRIVATE ROADS, EASEMENTS, OR AREAS OFF PUBLIC RIGHTS OF WAY.
7. CONTRACTOR SHALL NOTIFY GOVERNING AUTHORITIES A MINIMUM OF 24 HOURS PRIOR TO BEGINNING ANY WORK WITHIN THE RIGHT-OF-WAY OF EXISTING ROADS.
8. ALL FEMA, USACE, COUNTY, AND/OR STATE PERMITS SHALL BE IN HAND AND ON SITE DURING THE CONSTRUCTION OF THE PROJECT.
9. A SIGNED AND SEALED COPY OF THE PLANS SHALL BE MAINTAINED ON SITE AND MADE READILY AVAILABLE FOR THE DURATION OF THE CONSTRUCTION.
10. CONTRACTOR SHALL KEEP A MARKED UP SET OF PLANS SHOWING ALL CHANGES, DIMENSIONS, ETC. TO PROVIDE TO THE ENGINEER AFTER THE JOB IS COMPLETE AND CAPABLE OF BEING UTILIZED AS AS-BUILT DRAWINGS FOR FUTURE LOCATES.

GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE BETWEEN ARCHITECTURAL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND OTHER DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS OF DIFFERENT DISCIPLINES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. UNDERGROUND UTILITY LOCATIONS SHOWN ARE FROM UTILITY COMPANY RECORDS OR FROM LINE LOCATOR MARKS AND ARE SHOWN IN APPROXIMATE MANNER ONLY. CONTRACTOR SHALL FIELD VERIFY THE EXISTENCE, LOCATION, SIZE, AND TYPE OF ANY AND ALL UTILITY LINES PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS A RESULT OF THEIR CONSTRUCTION OPERATIONS.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION METHODS, SEQUENCES, PROCEDURES, AND JOB SITE SAFETY. THE CONTRACTOR SHALL TAKE ALL MEANS NECESSARY TO MAINTAIN AND PROTECT THE INTEGRITY OF ALL CONSTRUCTION (NEW AND EXISTING) AT ALL STAGES. ENGINEER ASSUMES NO LIABILITY FOR SAFETY ON THE JOB SITE.
4. ALL UTILITIES WITHIN ROADWAY SHALL BE BACKFILLED COMPLETELY WITH STONE UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER OR THE GOVERNING AUTHORITY.
5. ALL AREAS WHICH WILL LIE UNDER NEW STRUCTURES, PAVING, CONCRETE, OR WALKWAYS SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
6. ALL PERMITS, OTHER THAN THOSE LISTED IN THE SPECIFICATIONS, FOR THE DEVELOPMENT OF THESE PLANS ARE THE CONTRACTORS RESPONSIBILITY AND SHOULD BE OBTAINED PRIOR TO DISTURBING ANY AREAS OR BEGINNING ANY CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL MATERIALS AND DEBRIS NOT ACCEPTABLE TO THE OWNER.
8. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONCURRENT WORK BEING PERFORMED IN THE AREA.

GRADING NOTES

1. CONTRACTOR SHALL MAINTAIN 2% SLOPE ON ALL SIDEWALKS.
2. EMBANKMENTS WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN MAX. 10" LIFTS AND MIN. 98% COMPACTION (AASHTO T - 180) UNLESS OTHERWISE DIRECTED BY GEOTECHNICAL ENGINEER.
3. NO WORK TO BE DONE IN EITHER ALDOT OR COUNTY RIGHT-OF-WAY UNTIL ALL APPROPRIATE PERMITS ARE PROVIDED TO THE CITY.
4. CITY ENGINEER TO BE PROVIDED AT LEAST 48 HOURS NOTICE PRIOR TO THE STARTING OF EACH PHASE OF WORK.
5. ALL PERMITS/APPROVALS BY ADEM, ALDOT, FEMA, CORPS OF ENGINEERS WILL BE REQUIRED PRIOR TO DISTURBING AREAS UNDER JURISDICTIONS OF SUCH PERMITS.
6. THERE SHALL BE NO LAND DISTURBING ACTIVITY UNTIL PROOF OF ADEM NOR COVERAGE IS PROVIDED TO THE CITY AND ADEQUATE EROSION CONTROL MEASURES ARE IN PLACE.
7. ELEVATIONS SHOWN ARE FINISHED GRADE. THE CALCULATION OF THE APPROPRIATE SUBGRADE ELEVATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SUBGRADE ELEVATIONS SHALL VARY IN ACCORDANCE WITH THE SURFACE TREATMENT FOR ON THESE PLANS (I.E. ASPHALT PAVEMENT, CONCRETE PAVEMENT, SIDEWALK, TOPSOIL, ETC.) AND THE RELATED SECTIONS OR DETAILS.
8. CONTRACTOR SHALL TIE PROPOSED PAVING INTO EDGE OF EXISTING PAVING. CONTRACTOR SHALL ADJUST CROSS SECTION AS REQUIRED TO ENSURE SMOOTH PAVEMENT TRANSITIONS AND POSITIVE DRAINAGE. CURB AND GUTTER SHALL BE WORKMANLIKE, SMOOTH, AND ENSURE POSITIVE DRAINAGE.
9. ALL CUT AND FILL SIDE SLOPES ARE 2:1 UNLESS NOTED OTHERWISE. UNLESS OTHERWISE DIRECTED BY GEOTECHNICAL ENGINEER.
10. CLEARING LIMITS TO BE 5' OUTSIDE OF TOE AND TOP OF SLOPE.
11. CONTRACTOR SHALL OVER EXCAVATE ALL PONDS BY ADEQUATE AMOUNT IN ORDER TO ALLOW FOR SEDIMENTATION OF THE WATER ENTERING THE DETENTION FACILITIES. THIS BOTTOM SHALL BE RESTORED TO ELEVATIONS DETAILED ON SHEETS PO-1 UPON COMPLETION AND STABILIZATION OF THE SITE.
12. DIMENSIONS AND RADII ARE SHOWN TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
13. ELEVATION SPOTS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
14. PAD ELEVATIONS AS REFLECTED IN THE GRADING PLAN ARE DEVELOPED BASED ON THE ASSUMPTION THAT THE FINISH FLOOR OF THE STRUCTURE SHALL BE A MIN 1' HIGHER.

EROSION CONTROL NOTES

1. ALL EROSION CONTROL PERMITS FOR THE DEVELOPMENT OF THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY GROUND DISTURBANCE.
2. EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO BEGINNING ANY OTHER CONSTRUCTION ON THE JOB SITE.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING, AND REMOVING ALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AS SHOWN ON THESE DRAWINGS OR REQUIRED BY LOCAL, STATE, AND/OR FEDERAL REGULATORY AUTHORITIES.
4. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE CONSIDERED THE MINIMUM ACCEPTABLE AND SHALL BE MODIFIED IN THE FIELD AS NECESSARY TO COMPLY WITH LOCAL, STATE, AND/OR FEDERAL REQUIREMENTS.
5. EROSION CONTROL MEASURES MUST BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND THE NPDES PERMIT IS TERMINATED.
6. ALL DISTURBED AREAS NOT SHOWN TO BE LANDSCAPED SHALL BE SEEDED & MULCHED AS PER LOCAL STANDARDS AND SPECIFICATIONS.
7. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS RELATING TO THE ONSITE STORAGE OF FUEL, OIL, AND GREASE. AN SPCC PLAN MUST BE MAINTAINED AND IMPLEMENTED ON SITE.
8. STREAMS SHALL NOT BE USED AS TRANSPORTATION ROUTES FOR HEAVY EQUIPMENT. CROSSINGS SHALL BE LIMITED TO ONE POINT AND EROSION CONTROL MEASURES MUST BE UTILIZED WHERE STREAM BANKS AND DRAINAGE DITCHES ARE DISTURBED.

EROSION CONTROL SEQUENCE

ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF DISTURBANCE.

1. OBTAIN REQUIRED PERMITS.
2. STAKE PROPERTY LINES AND CLEARING LIMITS.
3. SELECTIVELY CLEAR PATH AS REQUIRED TO INSTALL SILT FENCING AND PERIMETER EROSION CONTROL MEASURES.
4. INSTALL SILT FENCES ALONG SIDE SLOPE BOUNDARIES.
5. INSTALL STONE ENTRANCE DRIVE.
6. PROTECT STORM DRAIN INLETS DOWNSTREAM OF CONSTRUCTION WITH HAY BALES, WATTLES, SILT FENCE AND/OR OTHER PROTECTIVE MEASURES.
7. INSTALL OTHER REQUIRED EROSION CONTROL MEASURES DOWNSTREAM OF PROJECT AREA.
8. PERFORM CLEARING AND GRUBBING.
9. INSTALL SILT FENCE AROUND STOCKPILES.
10. BEGIN EARTHWORK AND CONSTRUCT PROJECT.
11. MODIFY AND MAINTAIN EROSION CONTROL AS REQUIRED DURING CONSTRUCTION.
12. INSPECT ALL EROSION CONTROL MEASURES AFTER EVERY 0.50" RAINFALL. COPIES OF ALL INSPECTION REPORTS SHALL BE SUBMITTED TO THE PROPER AUTHORITIES IN ACCORDANCE WITH APPLICABLE PERMITS.
13. TEMPORARILY OR PERMANENTLY STABILIZE STRIPPED AREAS AND STOCKPILES LEFT INACTIVE FOR 14 OR MORE CALENDAR DAYS.
14. REMOVE ANY SEDIMENT REACHING PUBLIC OR PRIVATE ROADWAYS BY STREET CLEANING BEFORE THE END OF EACH DAY. FLUSHING OF STREETS WILL NOT BE ALLOWED
15. INSTALL TEMPORARY SEDIMENTATION PONDS OR DIVERSION BERMS AS NEEDED TO CONTROL THE FLOW OF WATER AND COLLECTION OF SEDIMENT DURING THE PROJECT.
16. COMPLETE FINE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
17. COMPLETE FINAL PAVING FOR ROADS.
18. REMOVE SILT FENCE UPON COMPLETION OF ALL CONSTRUCTION ACTIVITY.
19. RESEED AND STABILIZE ANY BARE SPOTS OR WASHOUTS.
20. TERMINATE ALL PERMITS.

EROSION CONTROL PLAN AND PERFORMANCE STANDARDS

1. THE EROSION CONTROL PLAN SHALL CONTAIN A DESCRIPTION OF THE EXISTING SITE CONDITIONS, A DESCRIPTION OF ADJACENT TOPOGRAPHICAL FEATURES, INFORMATION NECESSARY TO DETERMINE THE EROSION QUALITIES OF THE SOIL ON THE SITE, POTENTIAL PROBLEM AREAS OF SOIL EROSION AND SEDIMENTATION, SOIL STABILIZATION SPECIFICATIONS, STORM WATER MANAGEMENT CONSIDERATIONS, PROJECTED TIME SCHEDULE FOR COMMENCEMENT AND COMPLETION OF THE LAND-DISTURBING ACTIVITY, SPECIFICATIONS FOR BMP PLAN MAINTENANCE DURING THE PROJECT AND AFTER THE COMPLETION OF THE PROJECT, CLEARING AND GRADING LIMITS, AND ALL OTHER INFORMATION NEEDED TO DEPICT ACCURATELY THE SOLUTIONS TO POTENTIAL SOIL EROSION AND SEDIMENTATION PROBLEMS TO THE MS4. THE CONTROL PLAN SHALL INCLUDE THE SERIES OF BMP'S AND SHALL BE REVIEWED BY, AND SUBJECT TO THE APPROVAL OF, THE OFFICIAL PRIOR TO THE ISSUANCE OF THE PERMIT.
2. CONTROL MEASURES SHALL BE MAINTAINED AS AN EFFECTIVE BARRIER TO SEDIMENTATION AND EROSION IN ACCORDANCE WITH THIS PLAN.
3. THERE SHALL BE NO DISTINCTLY VISIBLE FLOATING SCUM, OIL OR OTHER MATTER CONTAINED IN THE STORM WATER DISCHARGE. THE STORM WATER DISCHARGE TO AN MS4 MUST NOT CAUSE AN UNNATURAL COLOR (EXCEPT DYES OR OTHER SUBSTANCES DISCHARGED TO AN MS4 FOR THE PURPOSE OF ENVIRONMENTAL STUDIES AND WHICH DO NOT HAVE HARMFUL EFFECT ON THE BODIES OF WATER WITHIN THE MS4) OR ODOR IN THE COMMUNITY WATERS. THE STORM WATER DISCHARGE TO THE MS4 MUST RESULT IN NO MATERIALS IN CONCENTRATIONS SUFFICIENT TO BE HAZARDOUS OR OTHERWISE DETRIMENTAL TO HUMANS, LIVESTOCK, WILDLIFE, PLANT LIFE OR FISH AND AQUATIC LIFE IN THE COMMUNITY WATERS.



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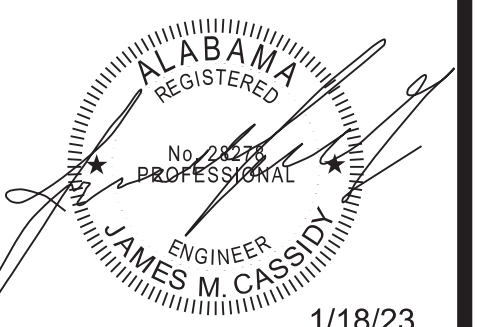
CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

PROJECT INFO:

INSITE JOB No. 22098.00
PLOTTED: 1/18/23

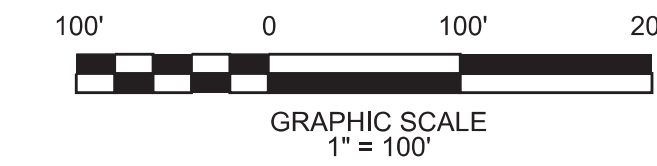


THIS SHEET CONTAINS:
GENERAL NOTES

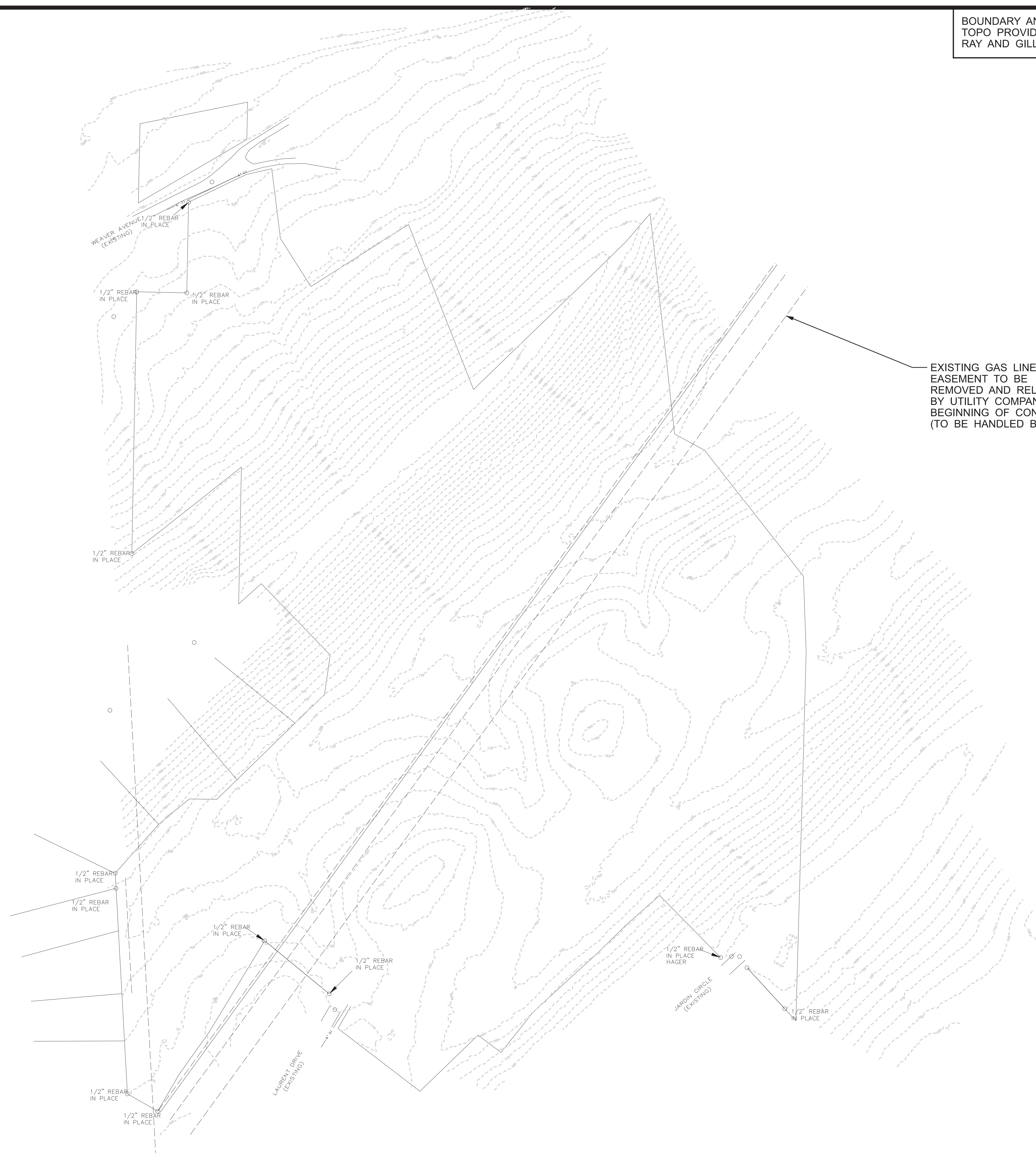
SCALE: NONE
SHEET 3 OF 44

GN-3

BOUNDARY AND TOPO PROVIDED BY RAY AND GILLILAND



MINOR CONTOURS WERE NOT SHOWN FOR CLARITY. CONTOURS SHOWN ON THIS SHEET ARE AT 5' INTERVALS.



EXISTING GAS LINE AND EASEMENT TO BE REMOVED AND RELOCATED BY UTILITY COMPANY PRIOR TO BEGINNING OF CONSTRUCTION (TO BE HANDLED BY OTHERS)



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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

PROJECT INFO:
 INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

THIS SHEET CONTAINS:
EXISTING SURVEY

SCALE: 1"= 100'
SHEET 4 OF 44

SV-1

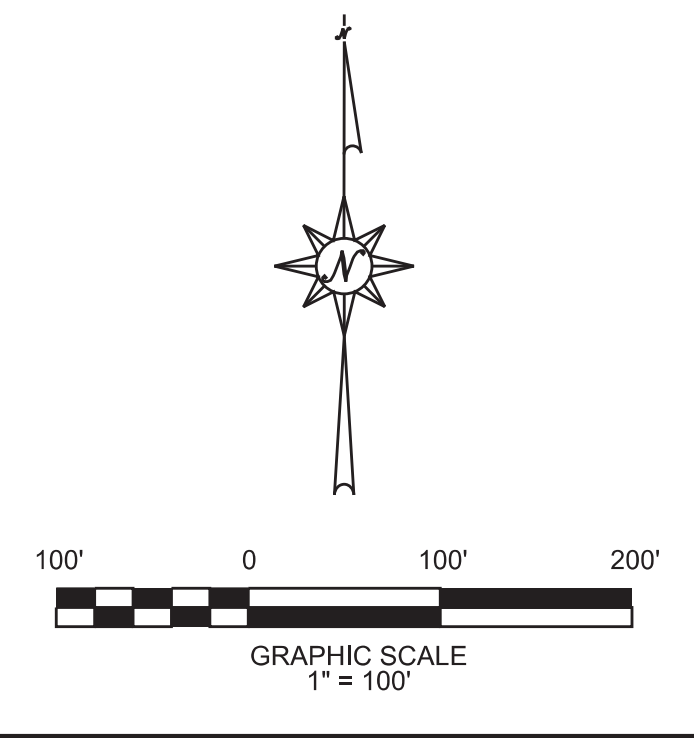
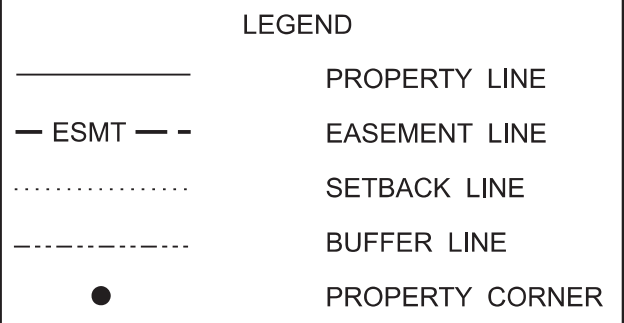
PRELIMINARY PLAT DANSBY

A MASTER PLANNED RESIDENTIAL SUBDIVISION
SINGLE FAMILY

40.68 ACRES BEING SUBDIVIDED

PROPERTY LOCATED

SECTION 11 TOWNSHIP 17 SOUTH RANGE 1 EAST
ST CLAIR COUNTY AL



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TOTAL ACREAGE = 40.68
TOTAL LOTS = 139
TOTAL EQUIVALENT BREAKDOWN = 3.42 LOTS/ACRE

LF ROADS	4,743	LF	
LF CURBS	9,718	LF	
LF STORM	6,060	LF	
ACREAGE IN ROW	5.67	ACRES	

ENGINEER
INSITE ENGINEERING, LLC
5800 FELDSPAR WAY
HOOVER, AL 35244

SURVEYOR
RAY & GILLILAND, P.C.
122 NORTH CALHOUN STREET
P.O. BOX 1183
SYLACAUGA, ALABAMA 35150

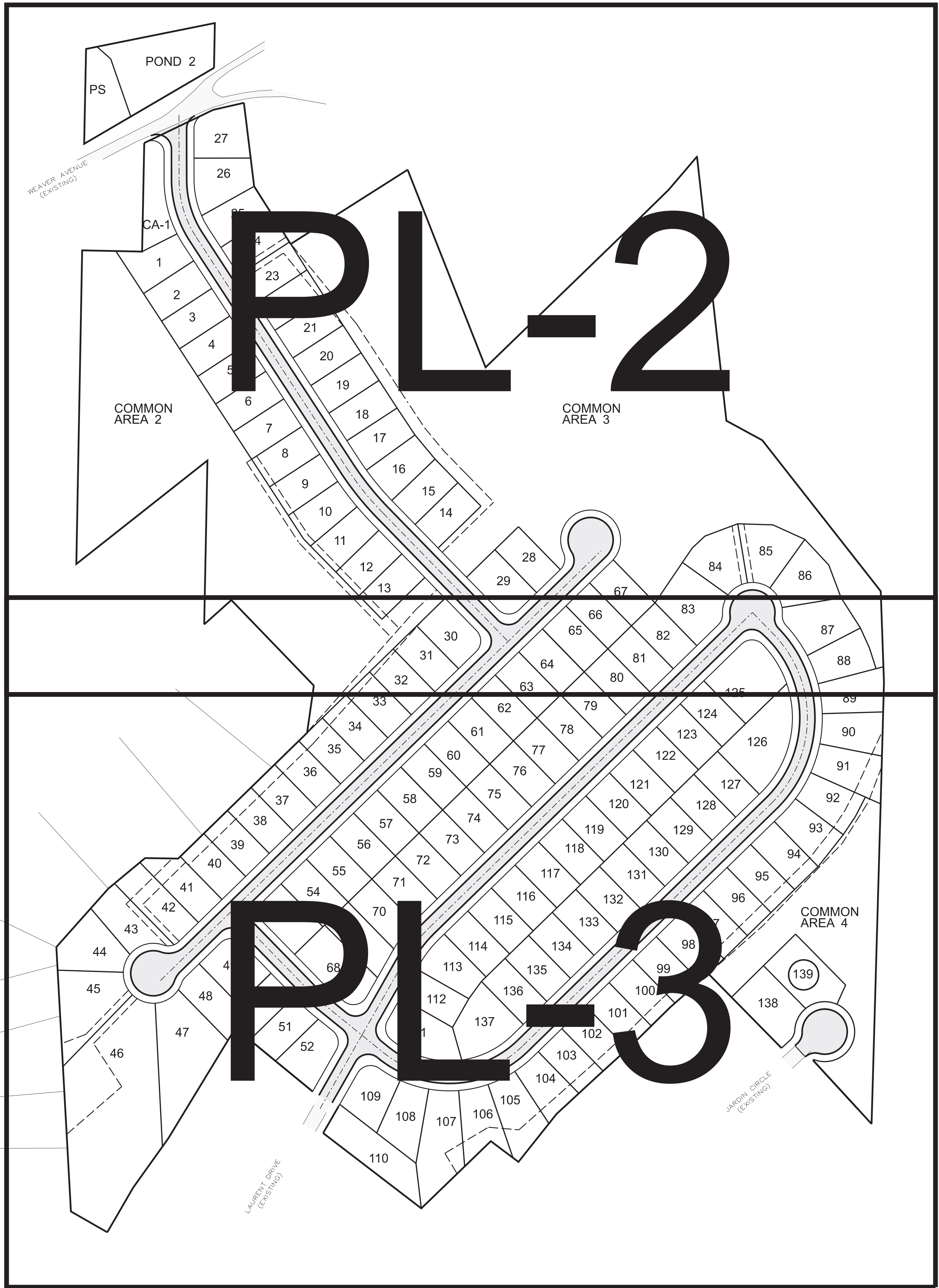
PROPERTY ZONED: R-6
ALL LOTS: FRONT YARD SETBACK - 20'
REAR YARD SETBACK - 20'

PROPERTY LOCATED
SECTION 11 TOWNSHIP 17 SOUTH
RANGE 1 EAST
ST CLAIR COUNTY AL

OWNER
SMITH DOUGLASS HOMES
248 CAHABA VALLEY PKWY
PELHAM AL 35124

- NOTES:
- BOUNDARY PROVIDED AND TOPO PROVIDED BY RAY AND GILLILAND.
 - INSITE ENGINEERING MAKES NO GEOTECHNICAL ASSUMPTIONS OR RESPONSIBILITY FOR SUBGRADE CONDITIONS. ALL GEOTECHNICAL MATTERS SHALL BE ADDRESSED BY A GEOTECHNICAL ENGINEER.
 - ALL WORK SHALL COMPLY WITH THE CITY OF LEEDS REGULATIONS AND LEEDS WATER WORKS BOARD REQUIREMENTS.
 - JOB SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALABAMA ONE CALL SHALL BE CALLED AND ALL UTILITIES LOCATED 48 HOURS PRIOR TO CONSTRUCTION.
 - ALL RIP-RAP SHALL BE CLASS 2 PER THE ALDOT STANDARD SPECIFICATIONS.
 - STRIP ALL TOP SOIL WITHIN BUILDING AND PAVEMENT AREAS, AND STOCKPILE FOR LATER USE. DISPOSE OF ANY EXCESS TOPSOIL IN LOCATIONS ON SITE AS DIRECTED BY THE OWNER.
 - MATERIAL TO BE USED AS FILL SHALL BE FREE OF ORGANICS WITH NO ROCK PARTICLE SIZE GREATER THAN 6" AND A LIQUID LIMIT NOT EXCEEDING 50 AND A PLASTICITY INDEX OF 25. MATERIAL SHALL ALSO HAVE A MINIMUM STANDARD PROCTOR MAXIMUM DRY DENSITY OF 100 PCF. ROCK FRAGMENTS SHALL COMPOSE NO MORE THAN 40% OF THE FILL MASS.
 - A SUBSURFACE INVESTIGATION HAS NOT BEEN DONE. INSITE ENGINEERING, LLC ALWAYS RECOMMENDS OBTAINING A GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION. FILL COMPACTION REQUIREMENTS, FILL TYPES, REQUIREMENTS, AND PAVEMENT BUILD UPS SHOULD BE DIRECTED AND PROVIDED BY THE GEOTECHNICAL ENGINEER.
 - CONTRACTOR IS CAUTIONED THAT ALL UTILITIES ON SITE MAY NOT BE SHOWN AND THE UTILITIES SHOWN ARE APPROXIMATE.
 - THE MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER SUPPLY LINES AND SANITARY SEWER LINES IS 6 FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER SUPPLY LINES AND SANITARY SEWER LINES IS 2 FEET.
 - ALL UTILITY TRENCHES OUTSIDE OF THE ROADWAY SHALL BE BACKFILLED WITH SUITABLE FILL AND COMPACTED PER ASTM D-998 TO 95% THE MAXIMUM DRY DENSITY WITHIN 2% OF OPTIMUM MOISTURE CONTENT IN 6" LOOSE LIFTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL WATER, SANITARY SEWER, AND STORM SEWER FROM THE MAIN LINE TO THE RIGHT OF WAY LINE.
 - DRIVEWAYS WILL BE INSTALLED AFTER THE HOUSE IS POSITIONED ON THE LOT.
 - ALL EASEMENTS WITHIN AND WITHOUT SHALL BE FOR ALL UTILITIES USES. ACCESS MAY BE AT THE CITY'S, COUNTY'S, AND UTILITIES DISCRETION.
 - ALLEMBANKMENTS SHALL BE INSTALLED IN MAX 10" LIFTS WITH 95% MINIMUM COMPACTION.
 - SPEED AND STOP SIGNS SHALL BE INSTALLED PRIOR TO FINAL INSPECTION.
 - STOP BAR AND CENTERLINE STRIPING SHALL BE INSTALLED AFTER FINAL SEAL COAT INSTALLATION.
 - ALL UTILITIES TO BE INSTALLED UNDERGROUND.
 - ALL PONDS, GREEN SPACE, OPEN SPACE, IRRIGATION, LANDSCAPING, ETC. TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - ALL EASEMENTS OUTSIDE OF R.O.W. SHALL BE MAINTAINED BY EACH PROPERTY OWNER.
 - NO FENCES ALLOWED TO BLOCK DRAINAGE EASEMENTS.
 - NO FENCES ALLOWED ON EASEMENTS.
 - ALL ITEMS HAVE BEEN DESIGNED IN ACCORDANCE TO THE 2015 EDITION OF THE INTERNATIONAL FIRE CODE AS DIRECTED AND DESCRIBED.
 - IF ROADWAYS ARE OPEN TO TRAFFIC PRIOR TO FINAL SEAL COAT, TEMPORARY STRIPING WILL BE REQUIRED.

NAME	RADIUS	CURVE LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
1-1	200.00'	21.80'	21.79'	S 30° 00' 06.54" E	6° 14' 38.97" LT
9-1	525.00'	11.92'	11.92'	S 33° 46' 27.44" E	1° 18' 02.82" LT
10-1	525.00'	52.98'	52.96'	S 37° 18' 56.70" E	5° 46' 55.71" LT
11-1	525.00'	37.24'	37.23'	S 42° 14' 20.46" E	4° 03' 51.81" LT
15-1	475.00'	4.10'	4.10'	N 44° 01' 26.66" W	0° 28' 39.41" RT
16-1	475.00'	66.14'	66.09'	N 39° 47' 16.76" W	7° 58' 40.41" RT
17-1	475.00'	22.18'	22.18'	N 34° 27' 41.28" W	2° 40' 30.52" RT
25-1	150.00'	24.96'	24.93'	N 28° 21' 26.49" W	9° 31' 59.07" RT
26-1	150.00'	61.53'	61.10'	N 11° 50' 22.47" W	23° 30' 08.97" RT
27-1	25.00'	28.09'	26.64'	N 32° 06' 16.78" E	64° 23' 08.52" RT
29-1	25.00'	39.27'	35.36'	N 89° 16' 16.37" E	90° 00' 00.00" RT
30-1	25.00'	39.27'	35.36'	S 0° 43' 43.63" W	90° 00' 00.00" RT
42-1	25.00'	9.57'	9.51'	S 56° 41' 39.50" W	21° 55' 51.74" RT
43-1	25.00'	18.32'	17.91'	S 88° 39' 11.08" W	41° 59' 11.43" RT
43-2	50.00'	61.78'	57.92'	S 74° 14' 59.51" W	70° 47' 34.58" LT
44-1	50.00'	31.76'	31.76'	S 70° 12' 37" W	37° 01' 39.10" LT
45-1	50.00'	41.65'	40.46'	S 22° 02' 34.83" E	47° 43' 34.72" LT
46-1	50.00'	41.65'	40.46'	S 69° 46' 09.55" E	47° 43' 34.72" LT
47-1	50.00'	46.33'	44.69'	N 59° 49' 14.73" E	53° 05' 36.72" LT
48-1	50.00'	12.40'	12.37'	N 26° 10' 13.40" E	14° 12' 25.93" LT
48-2	25.00'	11.63'	11.53'	N 32° 23' 52.03" E	26° 39' 43.19" LT
49-1	25.00'	39.27'	35.36'	S 89° 16' 16.37" E	90° 00' 00.00" RT
51-1	200.00'	23.38'	23.37'	S 47° 37' 14.17" E	6° 41' 55.59" LT
52-1	25.00'	35.19'	32.36'	S 10° 38' 37.25" E	80° 39' 09.44" RT
53-1	25.00'	39.27'	35.36'	N 0° 43' 43.62" E	89° 59' 59.99" RT
54-1	40.00'	48.25'	47.87'	N 43° 30' 48.25" E	04° 29' 50.16" LT
68-1	25.00'	43.44'	38.18'	S 79° 14' 52.64" W	99° 33' 48.46" RT
68-2	150.00'	17.54'	17.53'	N 47° 37' 14.17" W	6° 41' 55.59" RT
69-1	248.92'	2.48'	2.48'	S 29° 56' 22.12" W	0° 34' 18.84" LT
70-1	248.92'	55.81'	55.70'	S 36° 38' 56.61" W	12° 50' 50.13" LT
71-1	248.92'	11.72'	11.72'	S 44° 25' 15.90" W	2° 41' 48.45" LT
83-1	50.00'	33.19'	32.59'	S 16° 33' 28.65" W	38° 02' 15.76" LT
83-2	25.00'	21.03'	20.41'	S 21° 38' 02.20" W	48° 11' 22.87" RT
84-1	50.00'	39.29'	38.28'	S 58° 05' 09.13" W	45° 01' 05.20" LT
85-1	50.00'	39.29'	38.28'	N 76° 53' 45.69" W	45° 01' 05.20" LT
86-1	50.00'	39.29'	38.28'	N 31° 00' 40.48" W	45° 01' 05.20" LT
87-1	225.00'	60.85'	60.66'	N 35° 09' 23.50" W	15° 29' 41.38" LT
87-2	25.00'	20.46'	19.90'	N 19° 27' 22.60" W	46° 53' 43.17" RT
87-3	50.00'	11.66'	11.63'	N 2° 41' 19.44" W	13° 21' 36.84" LT
88-1	225.00'	50.51'	50.40'	N 20° 58' 40.64" W	12° 51' 44.34" LT
89-1	225.00'	50.51'	50.40'	N 8° 06' 56.30" W	12° 51' 44.34" LT
90-1	225.00'	50.51'	50.40'	N 4° 44' 48.05" E	12° 51' 44.34" LT
91-1	225.00'	50.51'	50.40'	N 17° 36' 32.39" E	12° 51' 44.34" LT
92-1	225.00'	50.51'	50.40'	N 30° 28' 16.74" E	12° 51' 44.34" LT
93-1	225.00'	34.66'	34.63'	N 41° 18' 56.27" E	8° 49' 34.72" LT
104-1	200.00'	38.82'	38.76'	N 51° 17' 19.78" E	11° 07' 12.30" LT
105-1	200.00'	50.00'	49.87'	N 64° 00' 39.03" E	14° 19' 26.20" LT
106-1	200.00'	50.00'	49.87'	N 78° 20' 05.23" E	14° 19' 26.20" LT
107-1	200.00'	50.00'	49.87'	S 87° 20' 28.56" E	14° 19' 26.20" LT
108-1	200.00'	50.00'	49.87'	S 73° 01' 02.36" E	14° 19' 26.20" LT
109-1	200.00'	40.28'	40.28'	S 60° 31' 20" E	11° 33' 36.10" LT
109-2	25.00'	41.90'	37.16'	N 77° 41' 37.16" E	96° 01' 19.38" RT
111-1	150.00'	123.04'	119.62'	N 74° 28' 09.68" W	46° 59' 55.43" RT
111-2	25.00'	35.19'	32.36'	N 10° 38' 37.25" W	80° 39' 09.44" RT
113-1	200.00'	56.01'	55.83'	N 37° 42' 20.55" E	16° 02' 46.16" RT
125-1	25.00'	39.27'	35.36'	S 89° 16' 16.37" E	90° 00' 00.00" RT
125-2	175.00'	77.51'	76.88'	S 31° 34' 57.89" E	25° 22' 36.96" RT
126-1	175.00'	197.38'	187.08'	S 13° 25' 02.11" W	64° 37' 23.04" RT
137-1	150.00'	95.04'	93.46'	S 63° 52' 48.12" W	36° 18' 08.98" RT
138-1	50.00'	41.44'	40.26'	S 26° 45' 05.81" W	65° 32' 42.33" LT
138-2	25.00'	19.34'	18.86'	S 25° 10' 13.22" W	44° 19' 16.89" RT
139-1	50.00'	42.40'	41.14'	N 87° 09' 08.16" W	48° 35' 09.33" LT
CA1-1	20.00'	40.36'	33.85'	N 57° 53' 43.22" W	115° 36' 50.48" LT
CA1-2	200.00'	93.52'	92.67'	N 13° 29' 02.52" W	26° 47' 29.07" LT
CA3-1	50.00'	214.76'	83.82'	N 81° 45' 03.66" W	246° 05' 52.85" LT
CA3-2	25.00'	30.77'	28.87'	N 10° 27' 51.82" E	70° 31' 43.61" LT
CA4-1	50.00'	155.24'	99.98'	N 23° 04' 09.80" E	177° 53' 25.89" LT



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CONSTRUCTION PLANS FOR:
DANSBY
LEEDS, ALABAMA

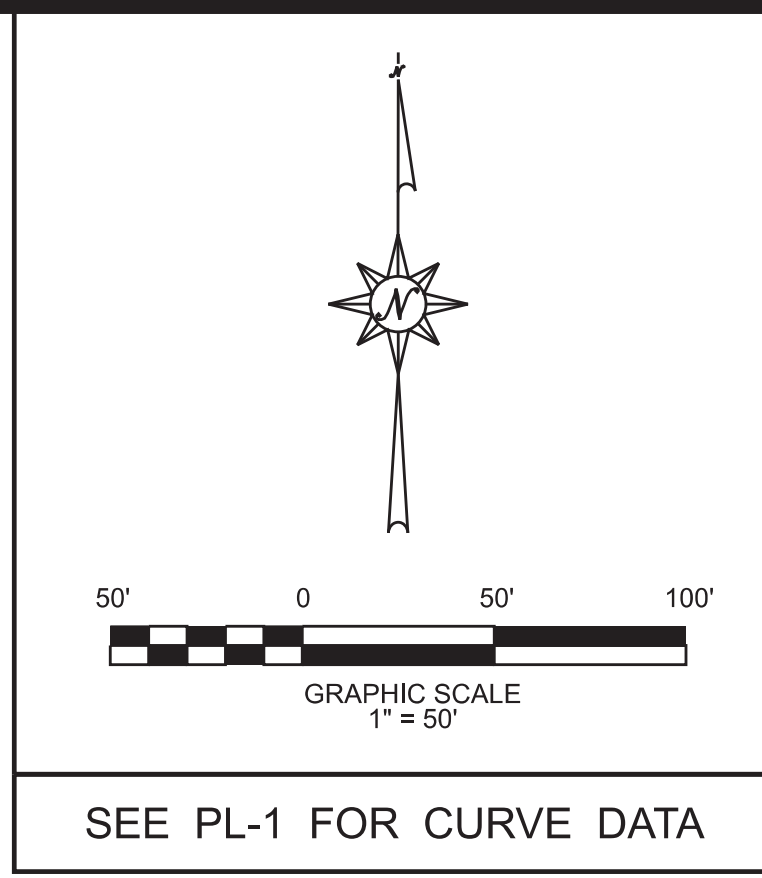
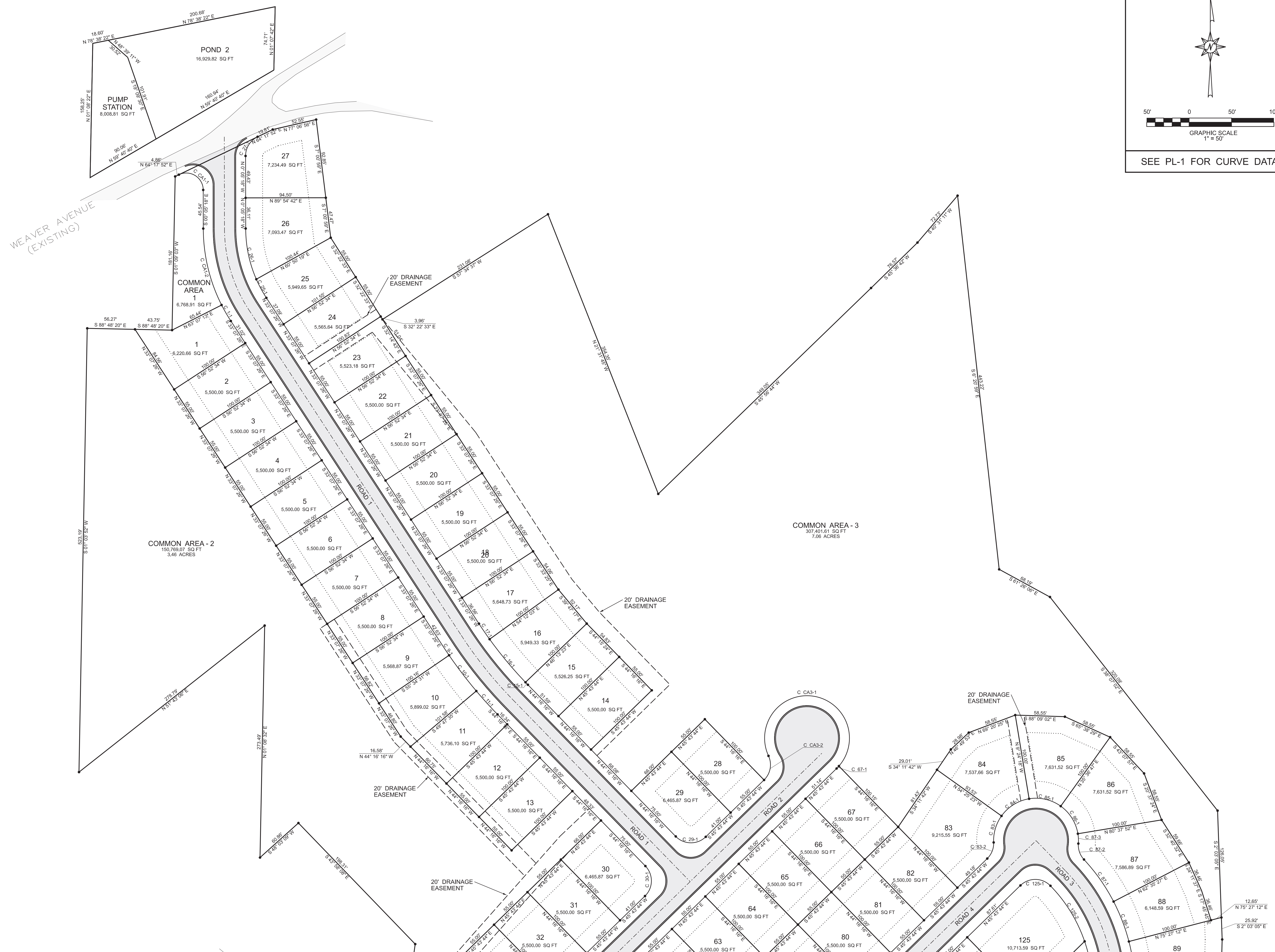
PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

1/18/23

THIS SHEET CONTAINS:
PRELIMINARY PLAT
SHEET INDEX

SCALE: 1"= 100'
SHEET 5 OF 44

PL-1



SEE PL-1 FOR CURVE DATA

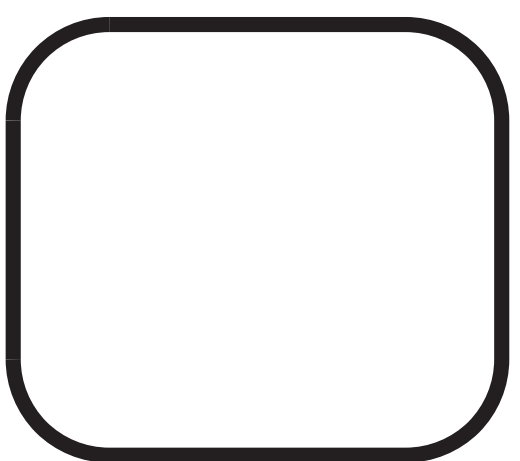
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PROJECT INFO:
 INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

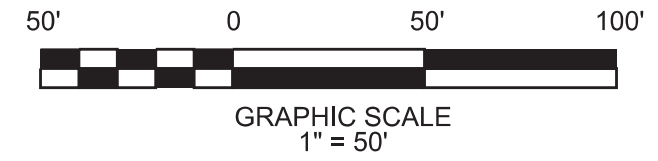
ALABAMA REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASIDY
 1/18/23

THIS SHEET CONTAINS: PRELIMINARY PLAT

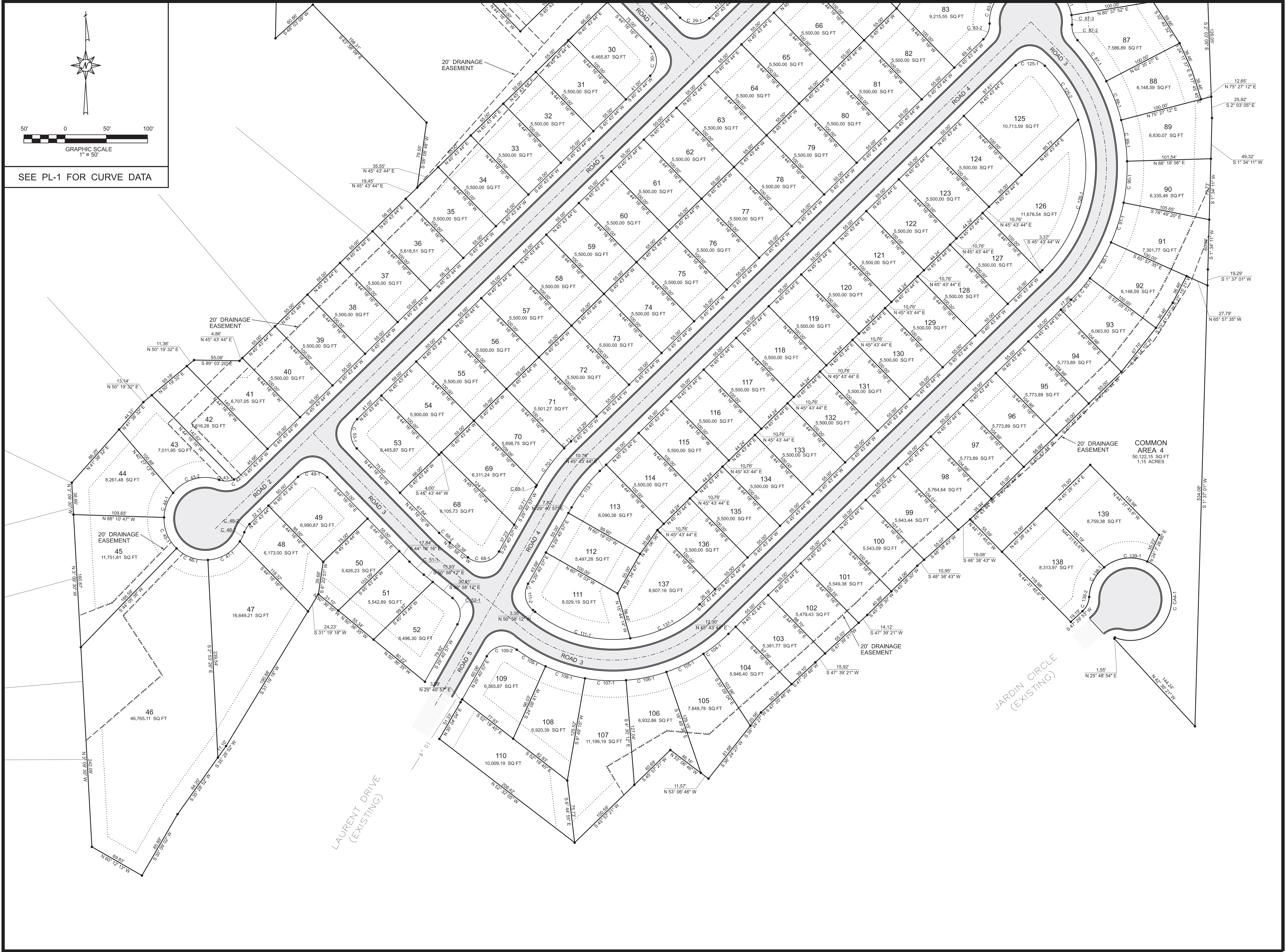
SCALE: 1" = 50'
SHEET 6 OF 44

PL-2

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SEE PL-1 FOR CURVE DATA



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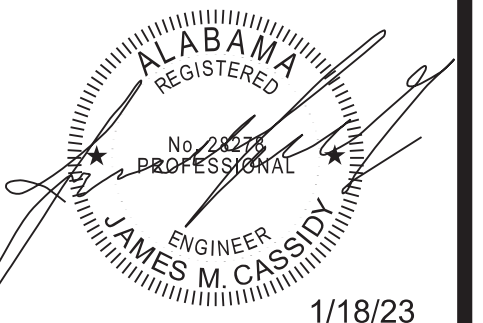
CONSTRUCTION PLANS FOR:

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PROJECT INFO:

INSITE JOB No. 22098.00
PLOTTED: 1/18/23

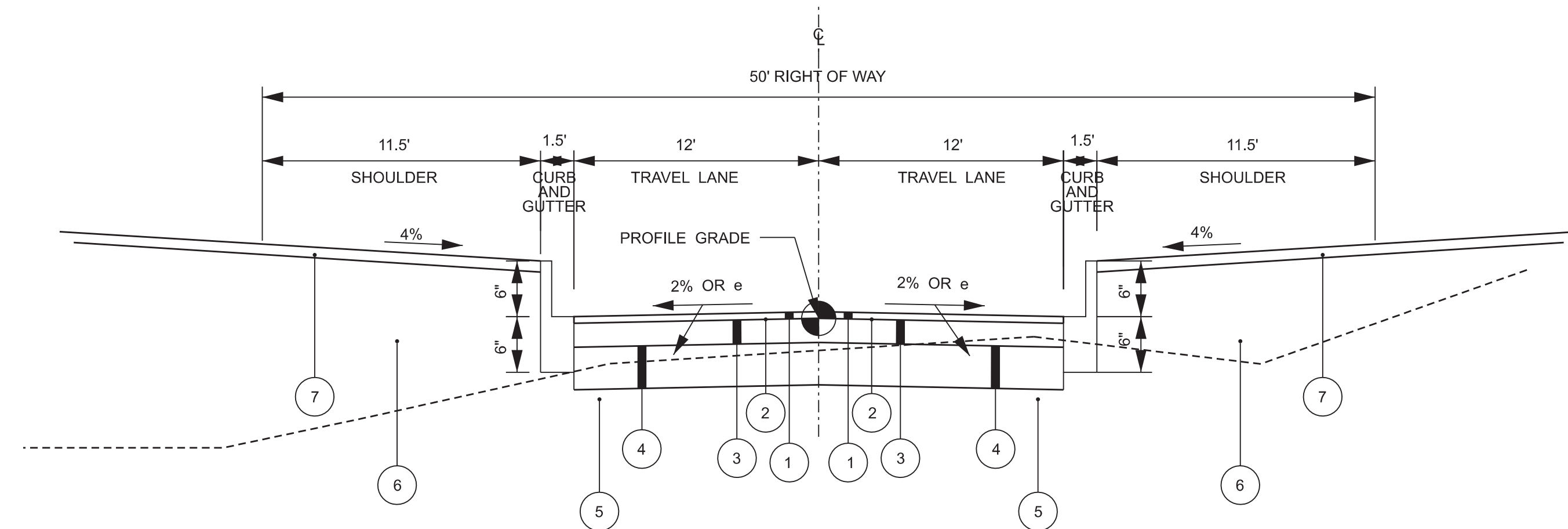


THIS SHEET CONTAINS:
PRELIMINARY PLAT

SCALE: 1"= 50'
SHEET 7 OF 44

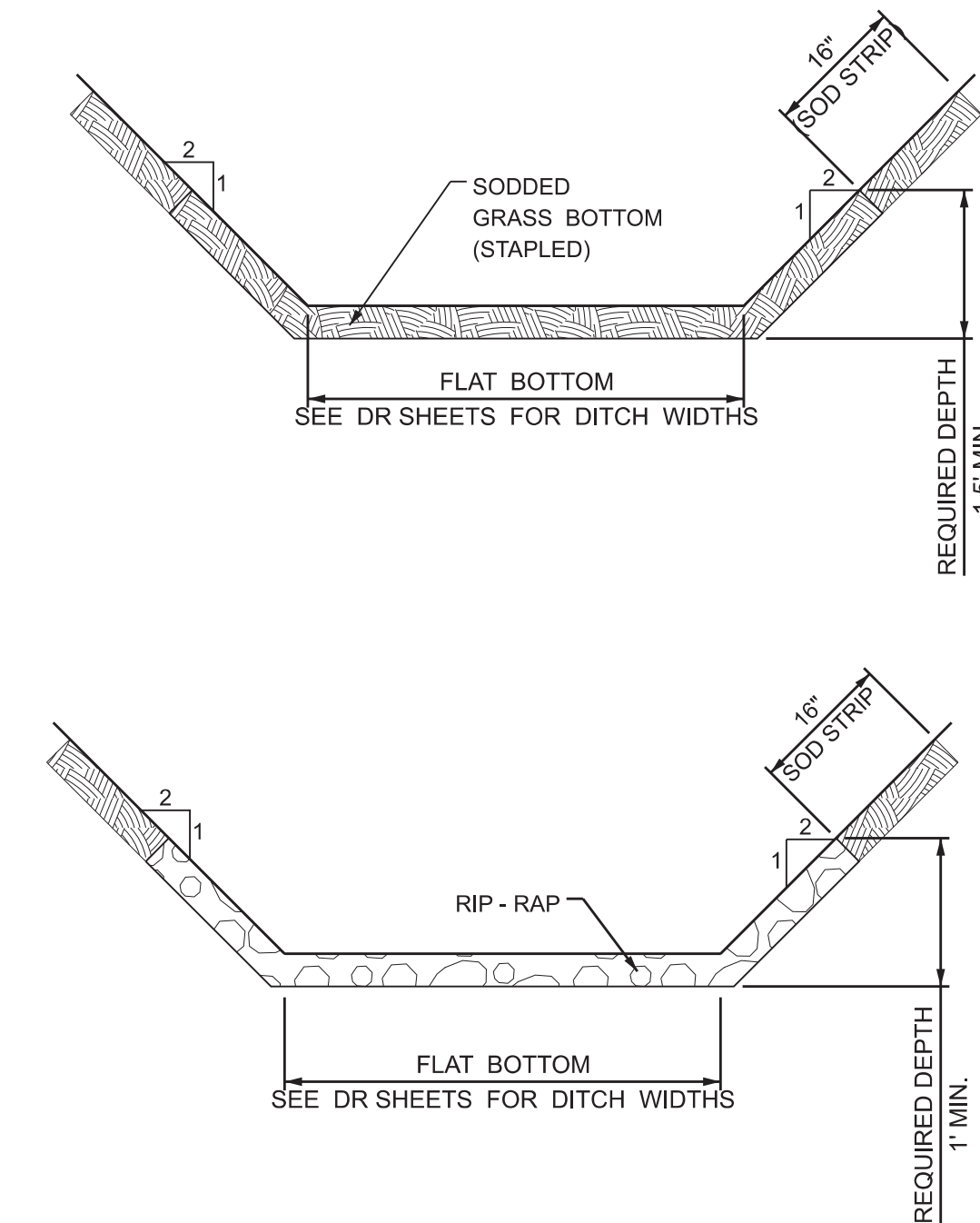
PL-3

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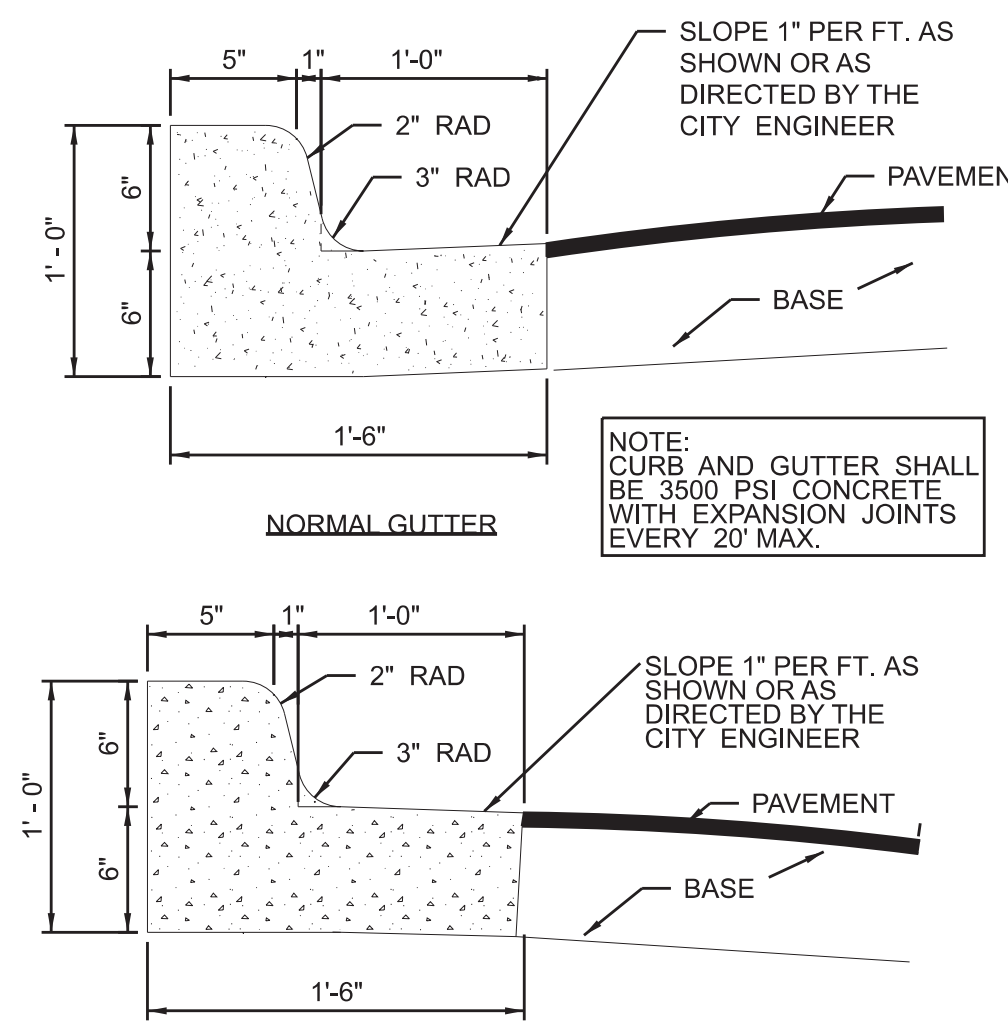


TYPICAL SECTION
24' ROADWAY WITH 18" CURB AND GUTTER

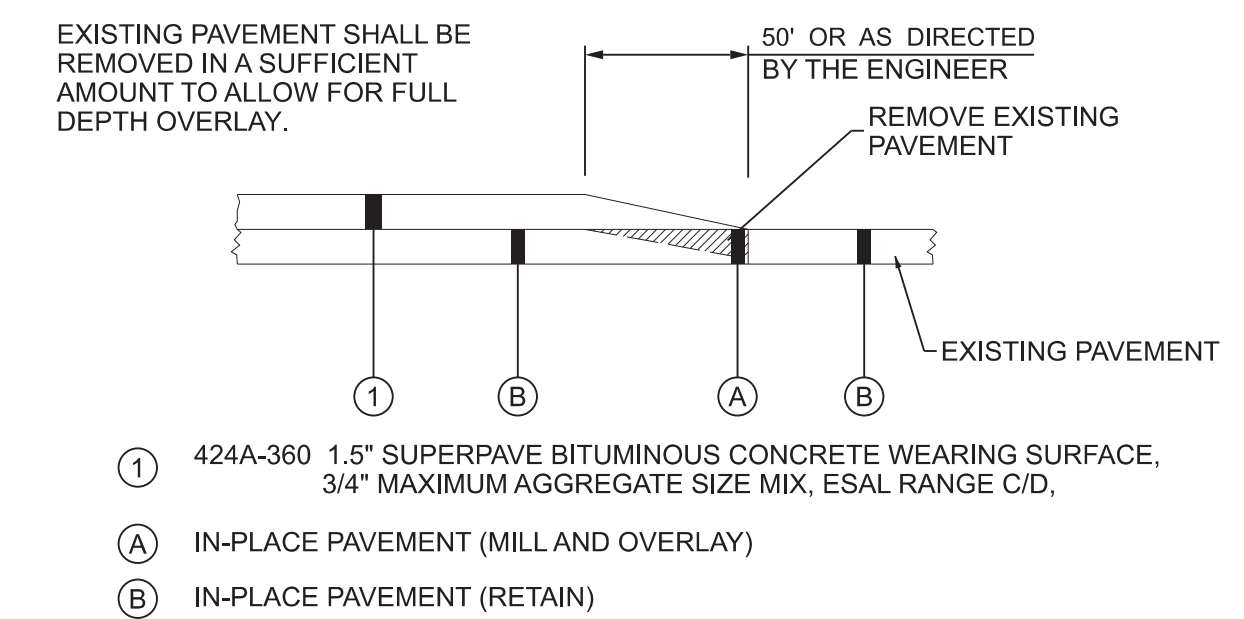
PAVEMENT LEGEND	
1	1" SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE, 1/2" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE C/D, 115 lbs/sy
2	TACK COAT
3	2" SUPERPAVE BITUMINOUS CONCRETE UPPER BINDER LAYER, WIDENING, 1" MAXIMUM AGGREGATE SIZE MIX @ 275 lbs/sy, ESAL RANGE C/D
4	6" CRUSHED AGGREGATE BASE (TO BE PLACED IN TWO 4" LAYERS) BITUMINOUS TREATMENT TYPE A
5	SUBGRADE TO BE ANALYZED AND DESIGNED TO PROVIDE ADEQUATE SUPPORT SUBGRADE COMPACTION TO BE 100% AASHTO, T-99
6	BORROW / FILL
7	TOPSOIL (4" THICK)



DETAIL - TYPICAL DITCH SECTIONS
SCALE: NONE



DETAIL - CURB AND GUTTER
SCALE: NONE



DETAIL - TREATMENT AT BEGIN AND END PROJECT
SCALE: NONE

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DANSBY

LEEDS, ALABAMA

PROJECT INFO:
 INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

ALABAMA REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASIDY
 1/18/23

THIS SHEET CONTAINS:
 TYPICAL ROADWAY SECTION

SCALE: NONE
 SHEET 8 OF 44

TYP-1

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NOTES:
 1. SEE DRAWING TYP-1 FOR TYPICAL ROADWAY SECTION.
 2. ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT.
 3. WATER LINE NOT SHOWN FOR CLARITY. SEE WT DRAWINGS FOR WATER LINE INFORMATION.
 4. DRIVEWAYS TO BE STUBBED OUT AT THE TIME OF CURB INSTALLATION TO AVOID FUTURE CUTTING OF CURBS.

STA. 0+00.00, ROAD 1 =
 CL WEAVER AVENUE
 N: 1116393.63
 E: 448633.34

CONTRACTOR TO SAWCUT OR MILL EXISTING PAVEMENT AS REQUIRED TO ENSURE SMOOTH TRANSITION

WEAVER AVENUE (EXISTING)

PI Sta 1+60.04
 R 175.00'
 L 100.90'
 T 99.51'
 Delta 33° 02' 08.05" (LT)
 Dc 32° 44' 25.60"
 Bearing S 16° 36' 22.01" E

PI Sta 1+60.04
 R 175.00'
 L 100.90'
 T 99.51'
 Delta 33° 02' 08.05" (LT)
 Dc 32° 44' 25.60"
 Bearing S 16° 36' 22.01" E

PI Sta 7+16.49
 R 500.00'
 L 97.28'
 T 97.13'
 Delta 11° 08' 50.34" (LT)
 Dc 11° 27' 32.96"
 Bearing S 38° 41' 51.20" E

STA. 10+64.65, ROAD 1 =
 STA. 08+10.12, ROAD 2
 N: 1115500.14
 E: 450082.51

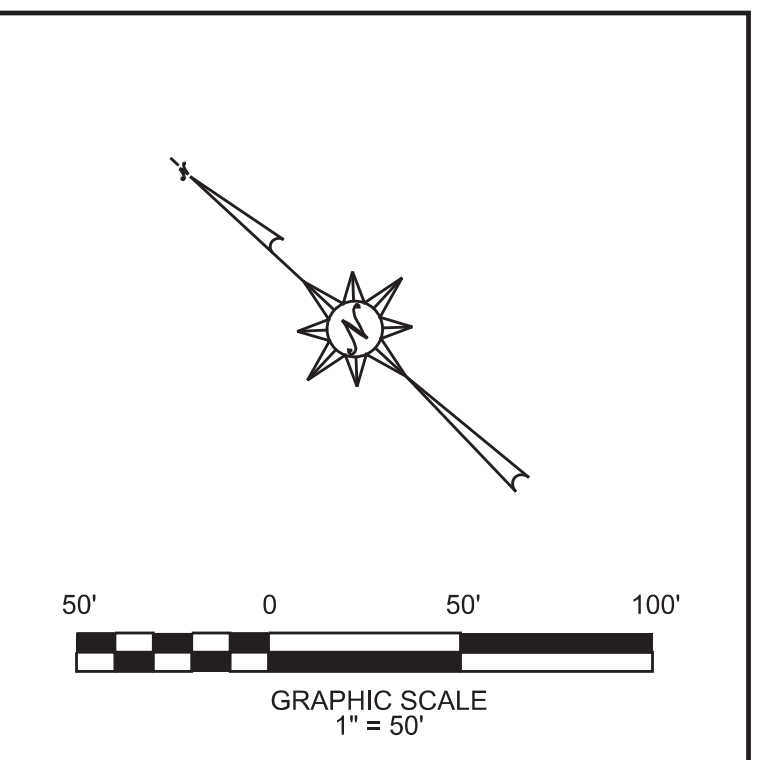
DETENTION POND 1

DETENTION POND 2

PUMP STATION

WEAVER AVENUE (EXISTING)

18" CURB AND GUTTER



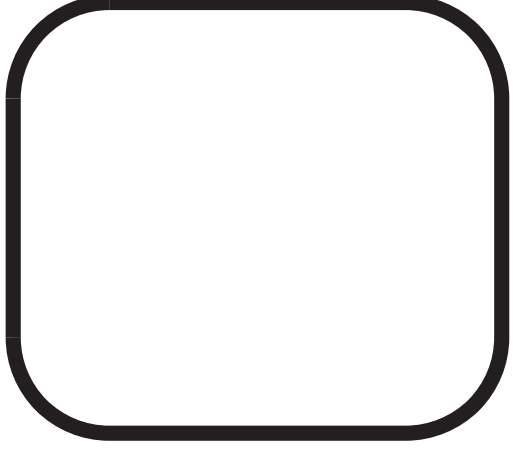
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DANSBY

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PROJECT INFO:
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 PLOTTED: 1/18/23

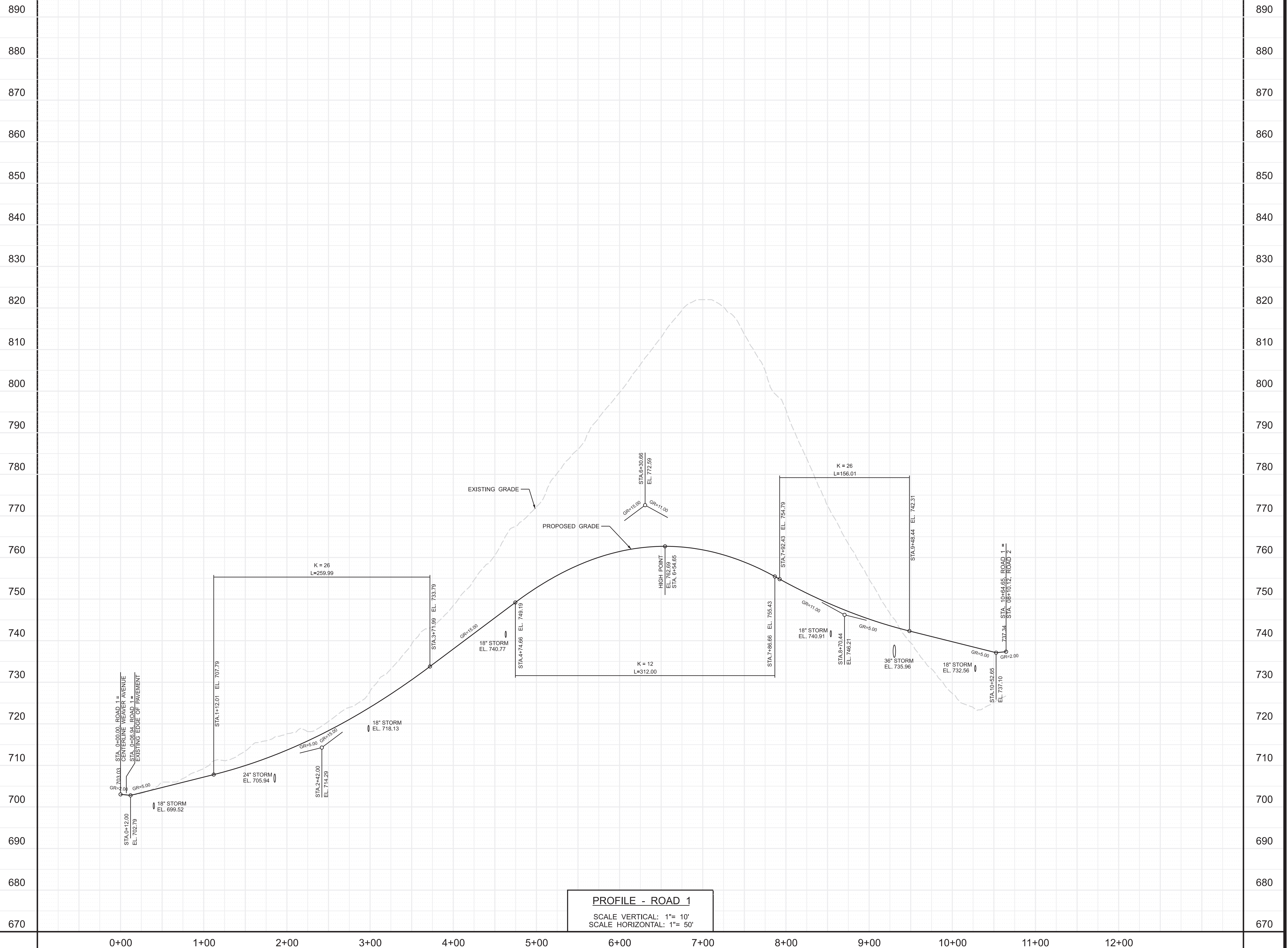
ALABAMA REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASIDY
 1/18/23

THIS SHEET CONTAINS:
 ROADWAY GEOMETRY
 PLAN - ROAD 1
 STA. 0+00.00 TO
 STA. 10+64.65

SCALE: 1"= 50'
 SHEET 9 OF 44

GM-1A

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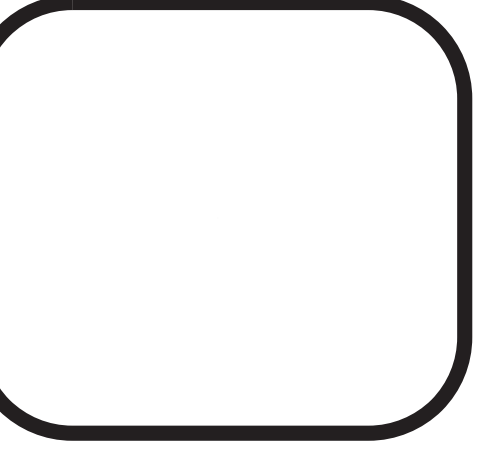


PROFILE - ROAD 1
 SCALE VERTICAL: 1"= 10'
 SCALE HORIZONTAL: 1"= 50'

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PROJECT INFO:
 INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

1/18/23
 THIS SHEET CONTAINS:
 ROADWAY PROFILE -
 ROAD 1 STA. 0+00.00
 TO STA. 10+64.65

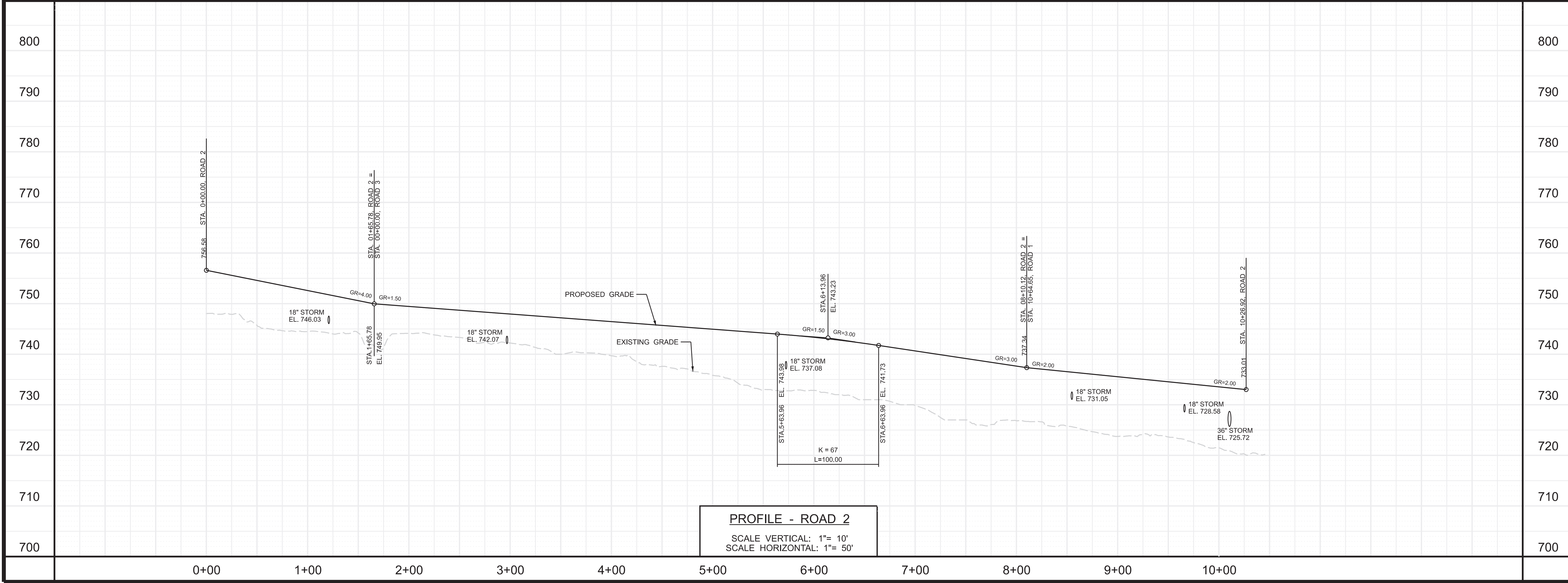
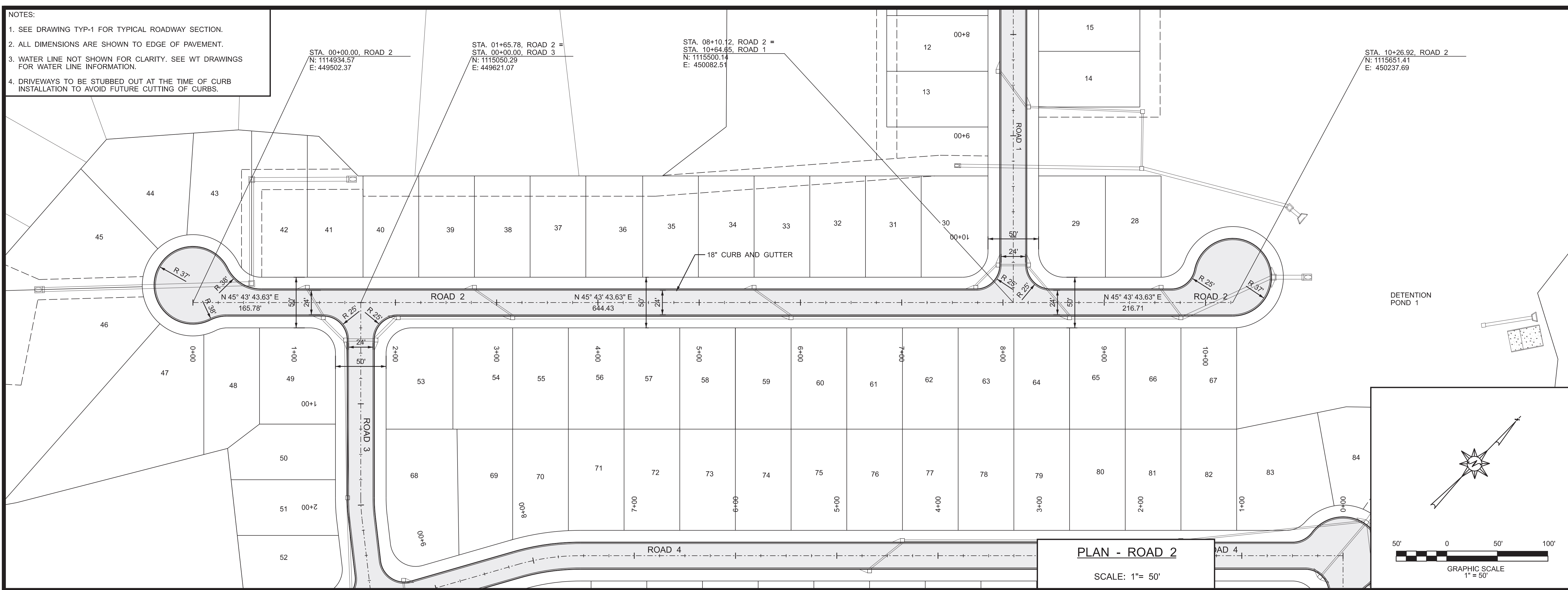
SCALE: AS NOTED
 SHEET 10 OF 44

GM-1B

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NOTES:

- 1. SEE DRAWING TYP-1 FOR TYPICAL ROADWAY SECTION.
- 2. ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT.
- 3. WATER LINE NOT SHOWN FOR CLARITY. SEE WT DRAWINGS FOR WATER LINE INFORMATION.
- 4. DRIVEWAYS TO BE STUBBED OUT AT THE TIME OF CURB INSTALLATION TO AVOID FUTURE CUTTING OF CURBS.



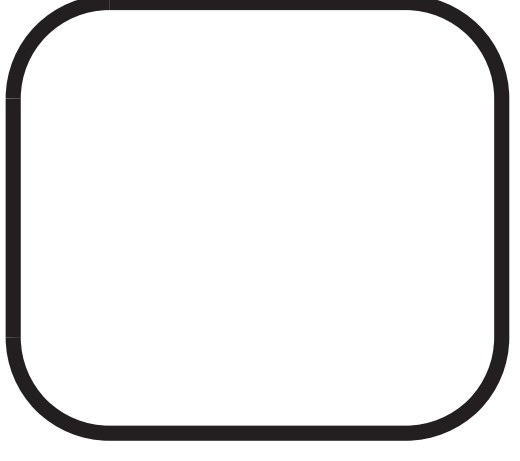
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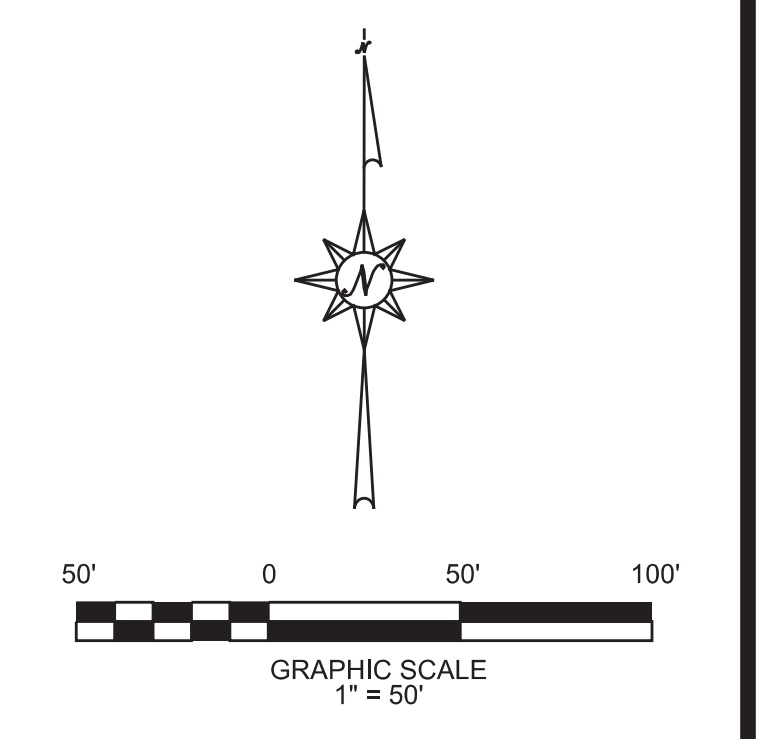
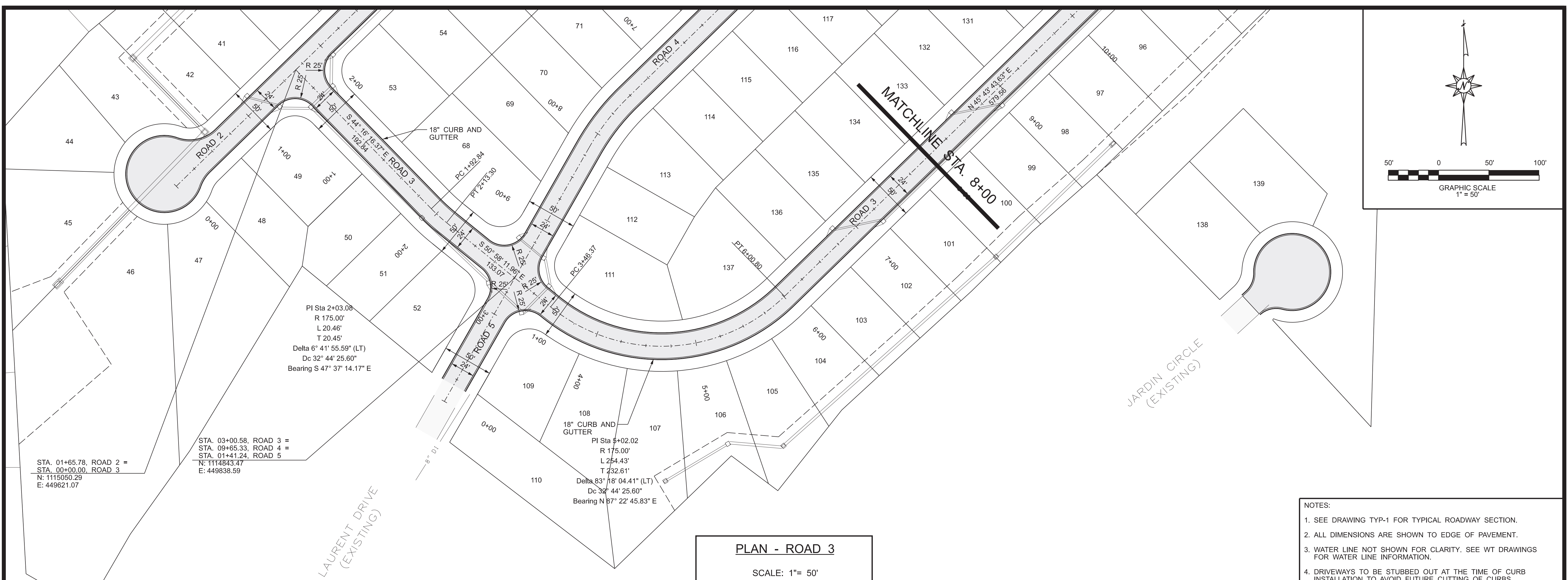
ALABAMA REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASADY
 1/18/23

THIS SHEET CONTAINS:
 ROADWAY GEOMETRY
 PLAN AND PROFILE -
 ROAD 2 STA. 0+00.00
 TO STA. 10+26.92

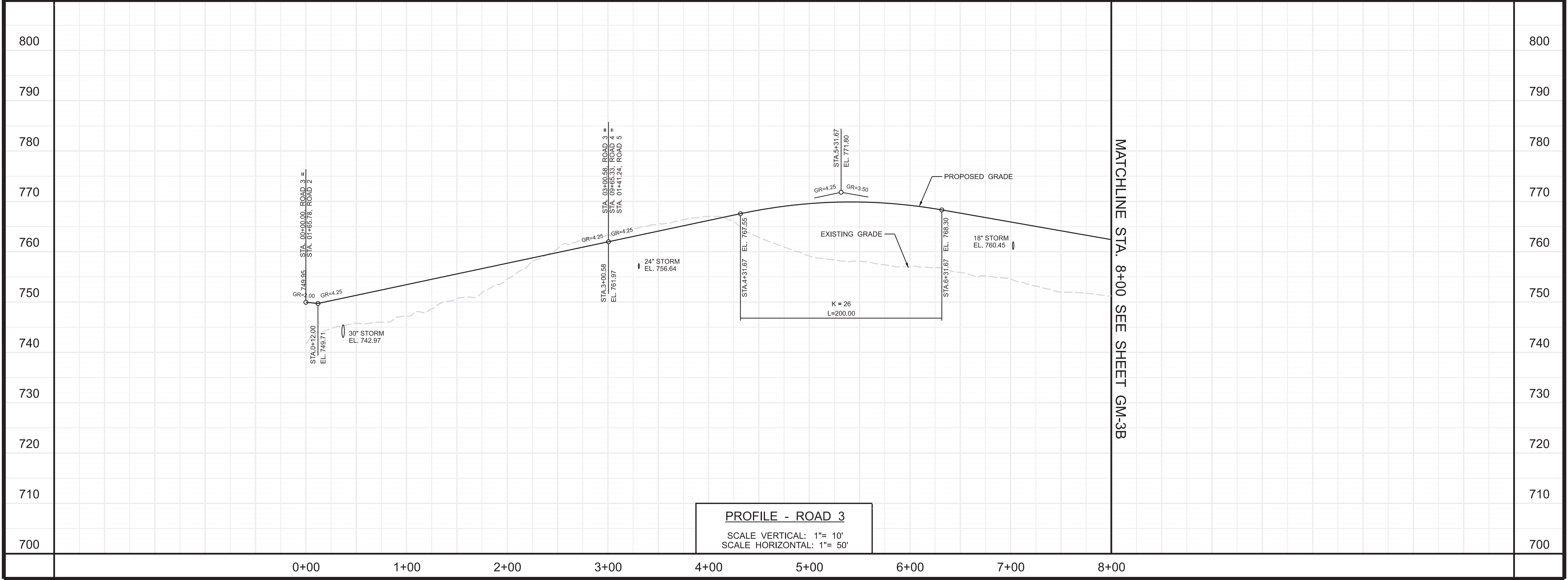
SCALE: 1" = 50'
 SHEET 11 OF 44

GM-2

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- NOTES:**
1. SEE DRAWING TYP-1 FOR TYPICAL ROADWAY SECTION.
 2. ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT.
 3. WATER LINE NOT SHOWN FOR CLARITY. SEE WT DRAWINGS FOR WATER LINE INFORMATION.
 4. DRIVEWAYS TO BE STUBBED OUT AT THE TIME OF CURB INSTALLATION TO AVOID FUTURE CUTTING OF CURBS.



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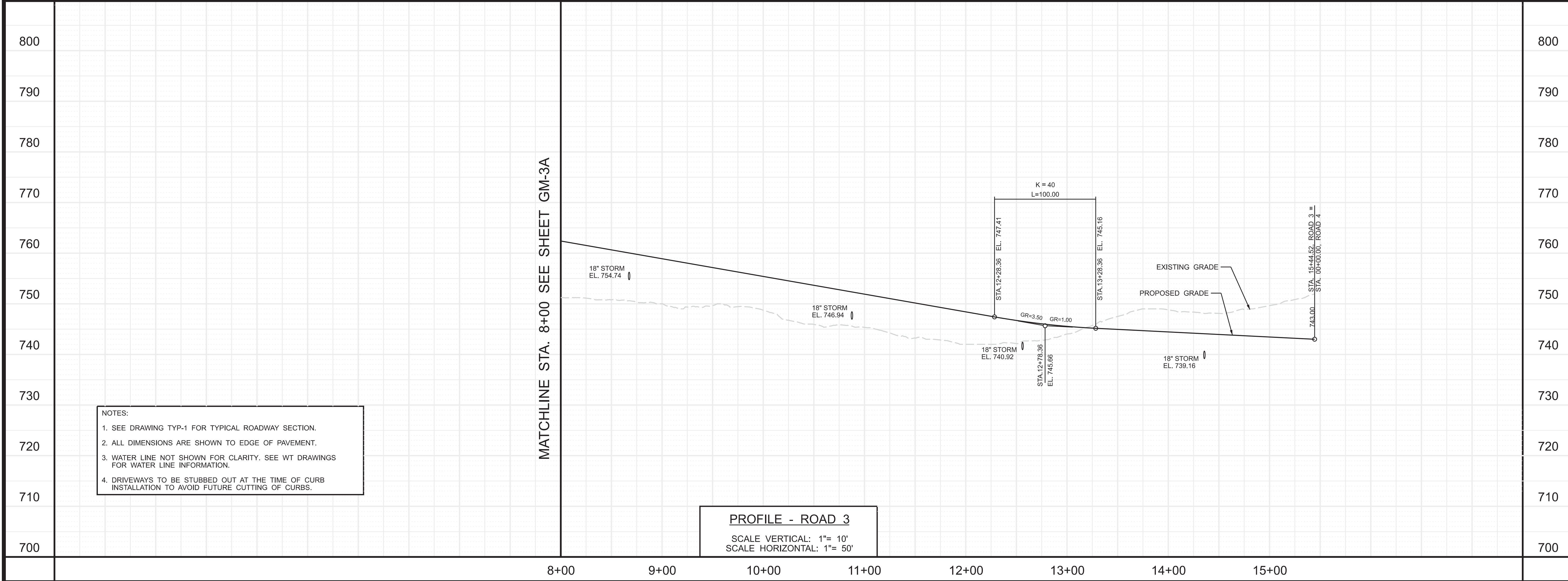
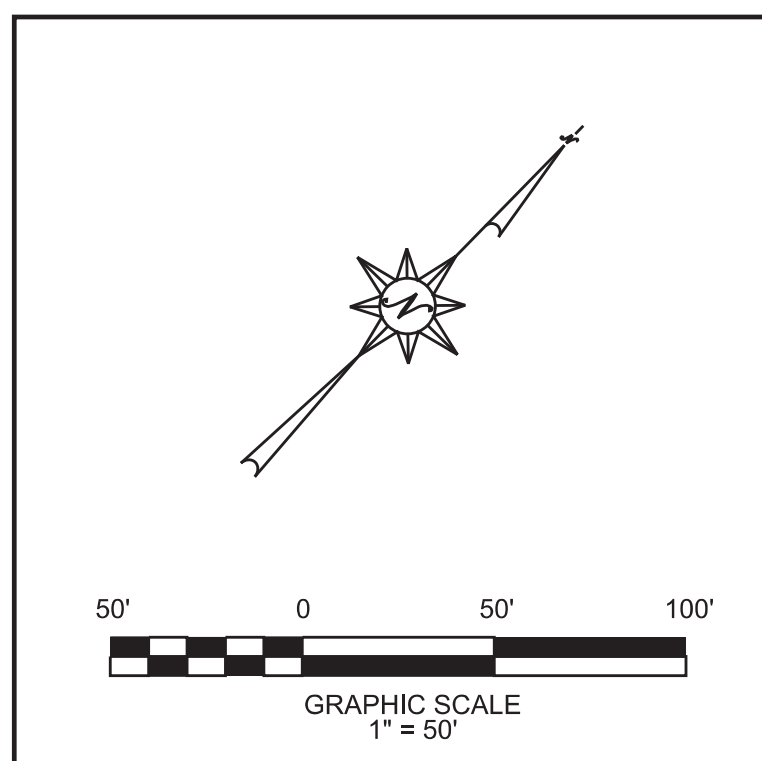
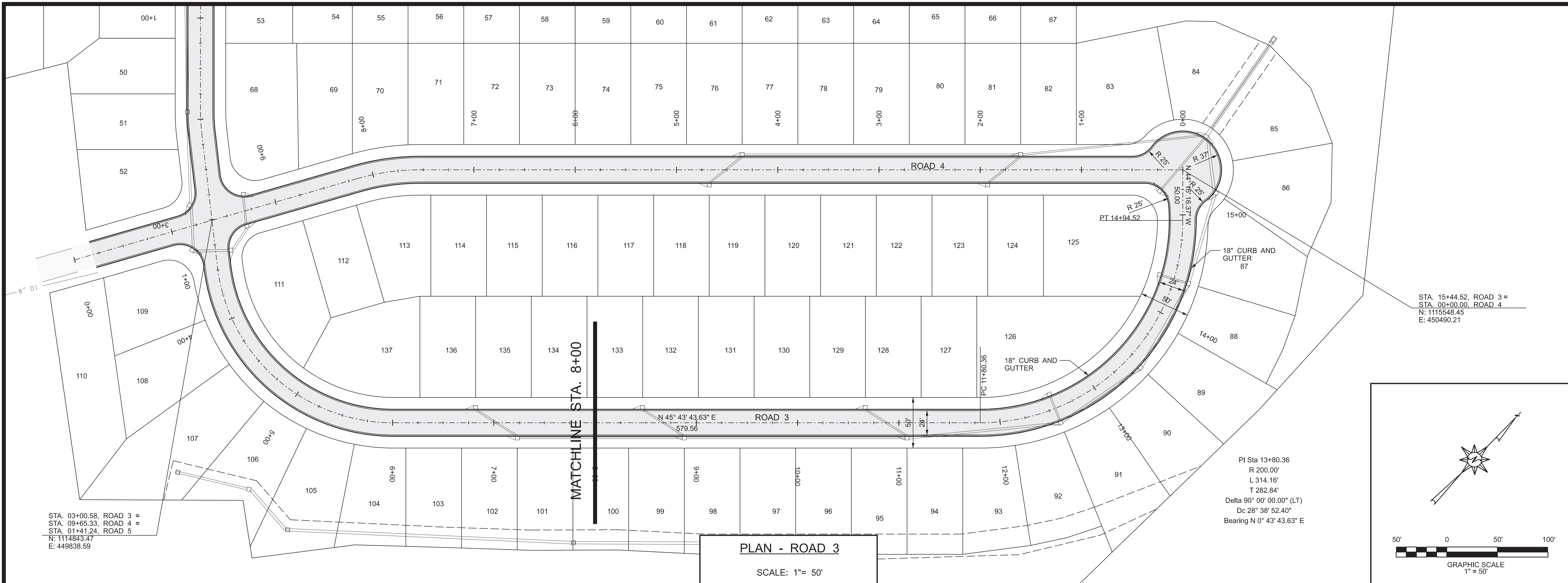
REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASIDY
 1/18/23

THIS SHEET CONTAINS:
 ROADWAY GEOMETRY
 PLAN AND PROFILE -
 ROAD 3 STA. 0+00.00
 TO STA. 8+00.00

SCALE: 1" = 50'
 SHEET 12 OF 44

GM-3A

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- NOTES:
1. SEE DRAWING TYP-1 FOR TYPICAL ROADWAY SECTION.
 2. ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT.
 3. WATER LINE NOT SHOWN FOR CLARITY. SEE WT DRAWINGS FOR WATER LINE INFORMATION.
 4. DRIVEWAYS TO BE STUBBED OUT AT THE TIME OF CURB INSTALLATION TO AVOID FUTURE CUTTING OF CURBS.

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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

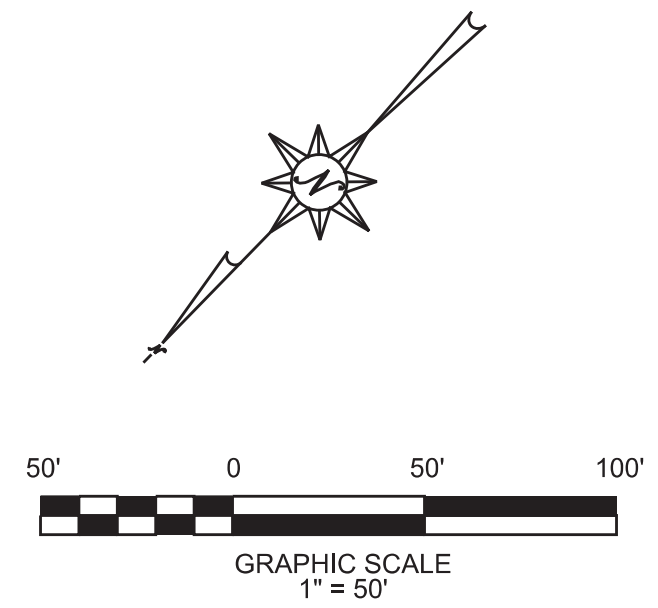
ENGINEER
JAMES M. CASIDY
1/18/23

THIS SHEET CONTAINS:
ROADWAY GEOMETRY
PLAN AND PROFILE -
ROAD 3 STA. 8+00.00
TO STA. 15+44.52

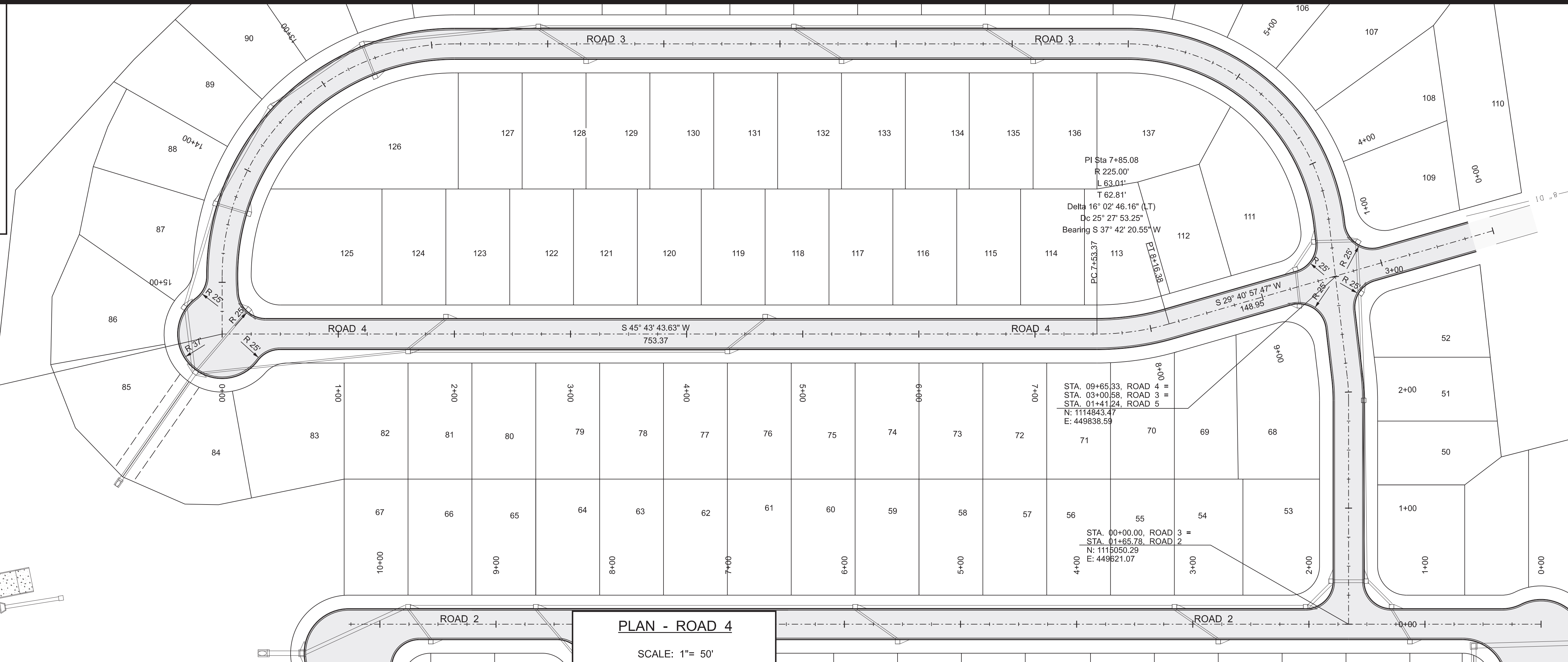
SCALE: 1" = 50'
SHEET 13 OF 44

GM-3B

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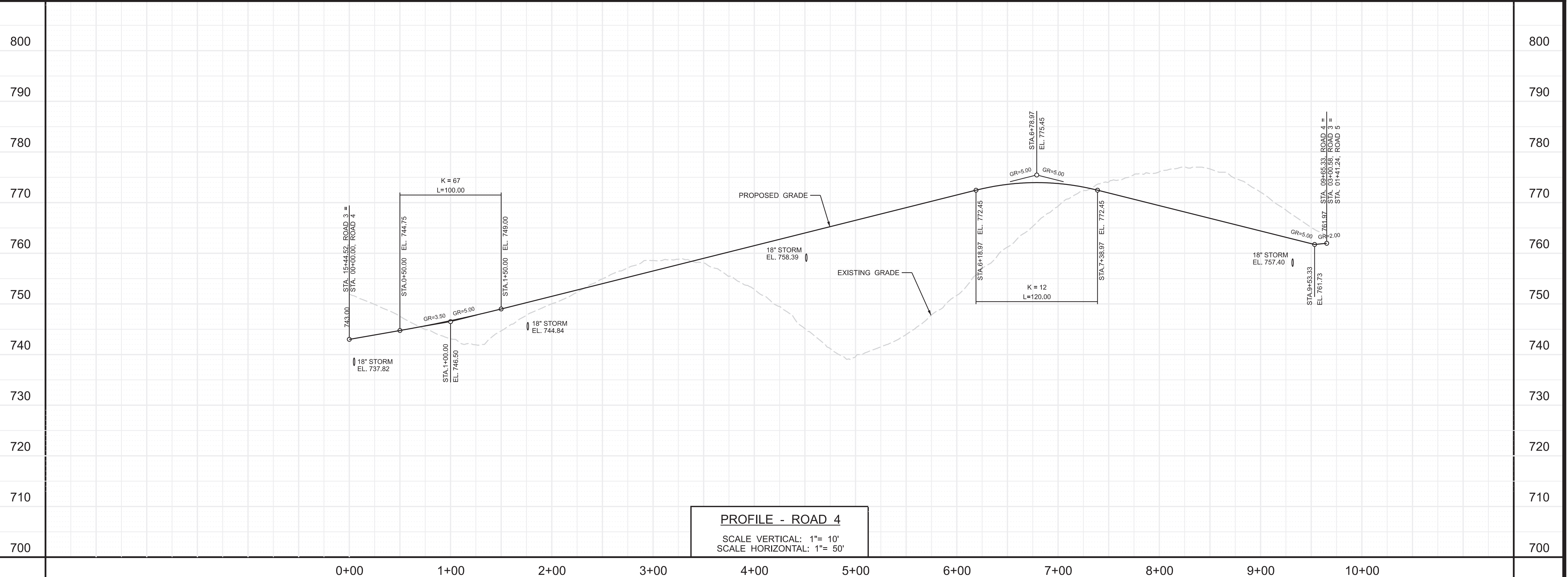


STA. 00+00.00, ROAD 4 =
 STA. 15+44.52, ROAD 3
 N: 1115548.45
 E: 450490.21



PLAN - ROAD 4

SCALE: 1" = 50'



PROFILE - ROAD 4

SCALE VERTICAL: 1" = 10'
 SCALE HORIZONTAL: 1" = 50'

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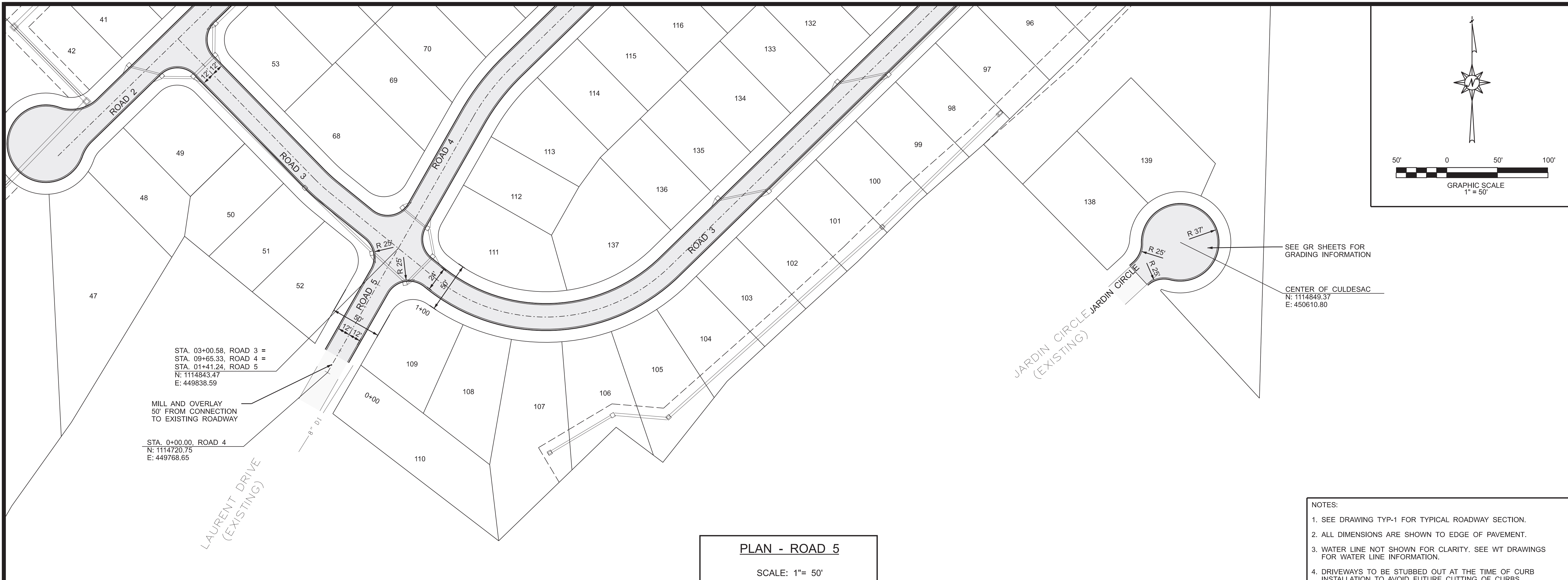
1/18/23

THIS SHEET CONTAINS:
 ROADWAY GEOMETRY
 PLAN AND PROFILE -
 ROAD 4 STA. 0+00.00
 TO STA. 09+65.33

SCALE: 1" = 50'
 SHEET 14 OF 44

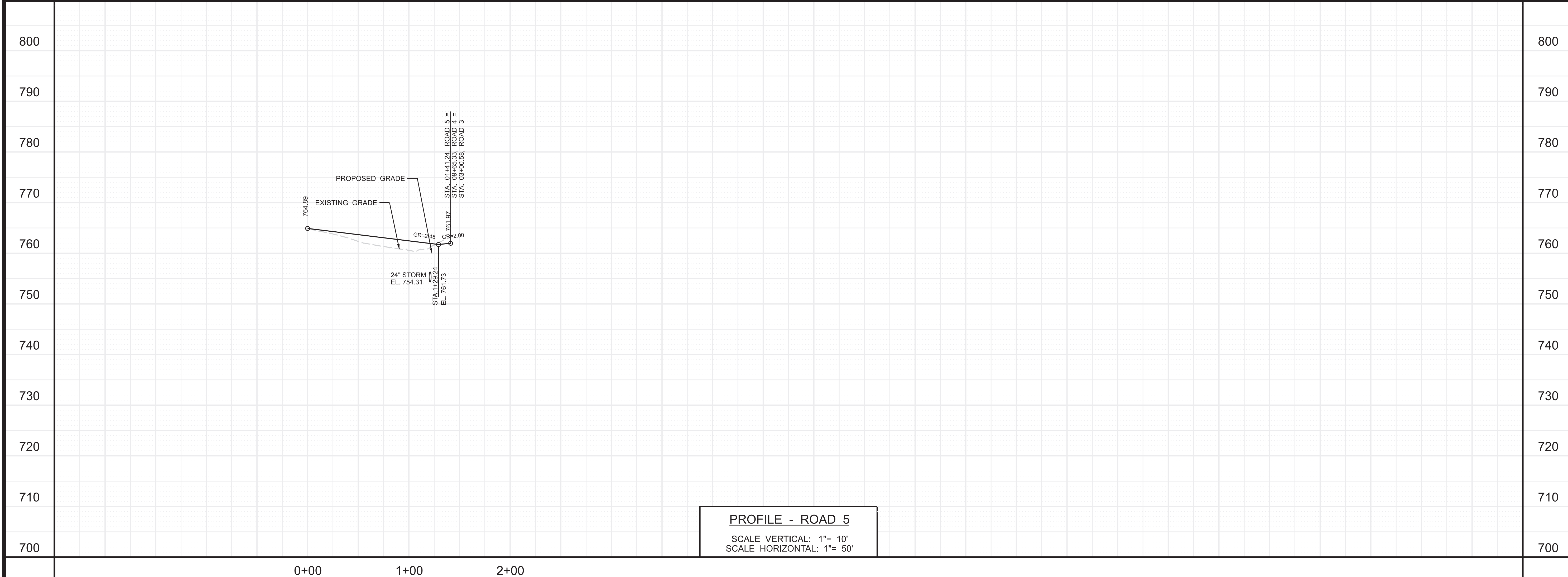
GM-4

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PLAN - ROAD 5
SCALE: 1" = 50'

- NOTES:
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PROFILE - ROAD 5
SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

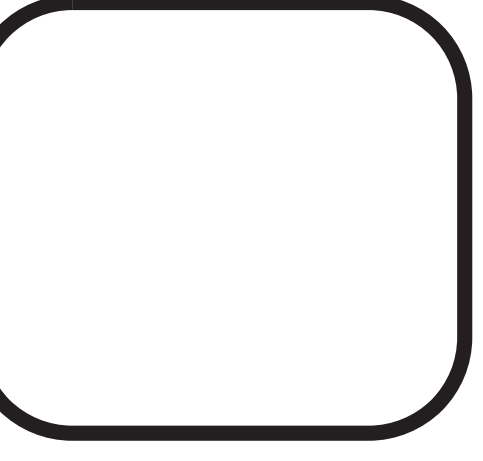
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PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

THIS SHEET CONTAINS:
ROADWAY GEOMETRY
PLAN AND PROFILE -
JARDIN CIRCLE AND
ROAD 5 STA. 0+00.00
TO STA. 1+41.24

SCALE: 1" = 50'
SHEET 15 OF 44

GM-5

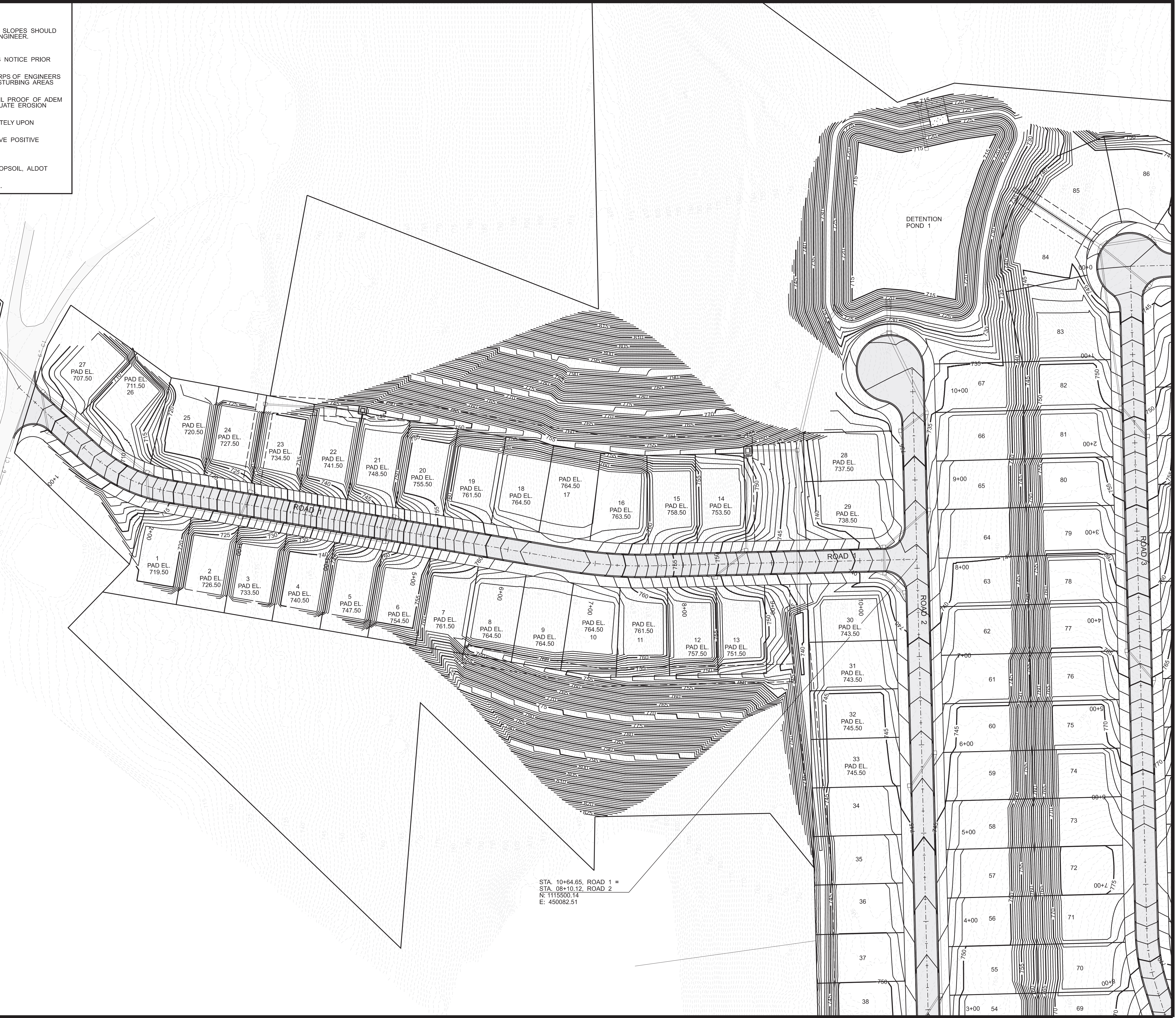
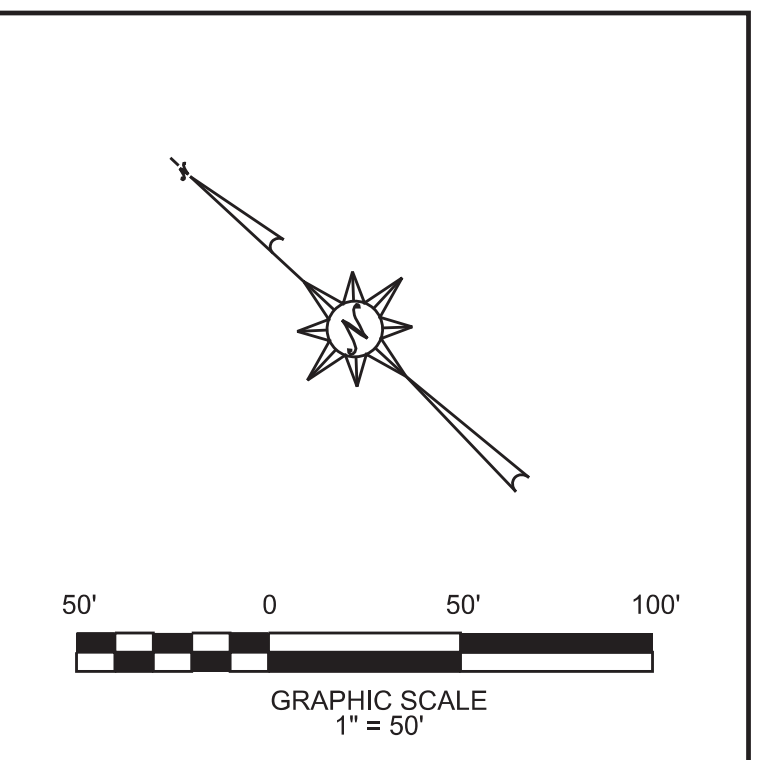
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 9. CONTOURS ARE DISPLAYED AT 1' INTERVALS.
 10. ALL SLOPES STEEPER THAN 3:1 SHALL RECEIVE 4" TOPSOIL, ALDOT SEED MIXTURE, FERTILIZER, AND N.A.G S-150 ECB.
 11. ALL WALLS SHALL BE DESIGN/BUILD BY CONTRACTOR.

STA. 0+00.00, ROAD 1 =
CL WEAVER AVENUE
N: 1116393.63
E: 449833.34

WEAVER AVENUE
(EXISTING)

STA. 10+64.65, ROAD 1 =
STA. 08+10.12, ROAD 2
N: 1115500.14
E: 450082.51



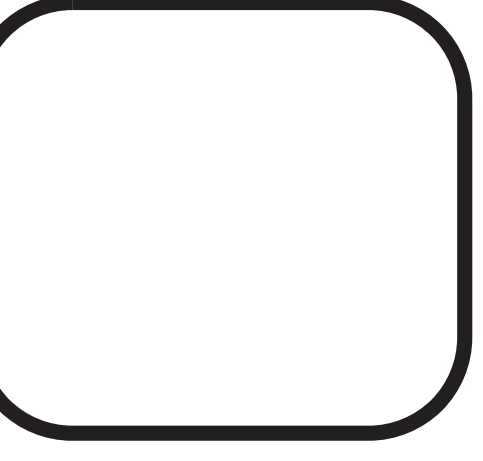
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PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

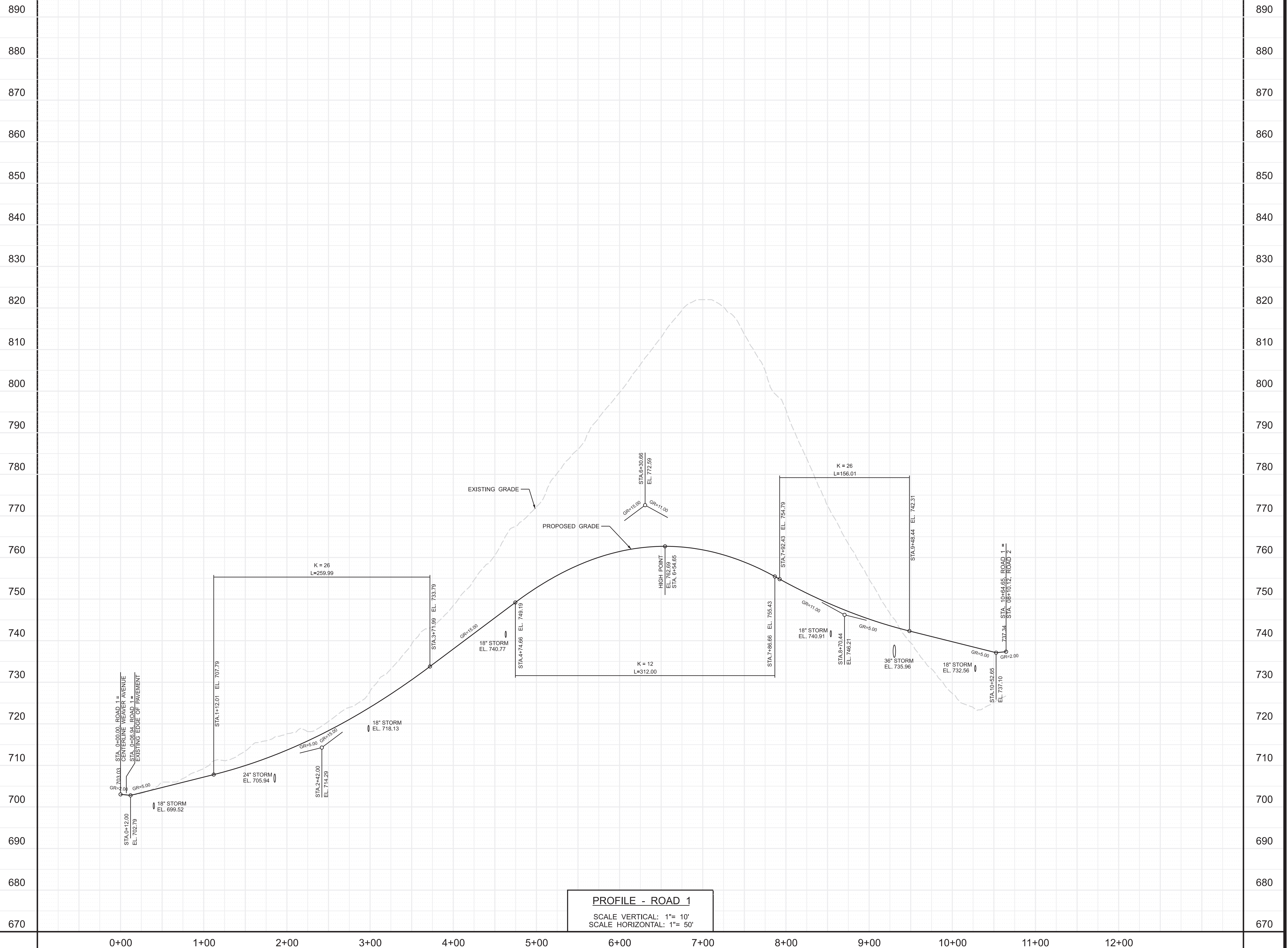
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THIS SHEET CONTAINS:
ROADWAY GRADING
PLAN - ROAD 1

SCALE: 1"= 50'
SHEET 16 OF 44

GR-1A

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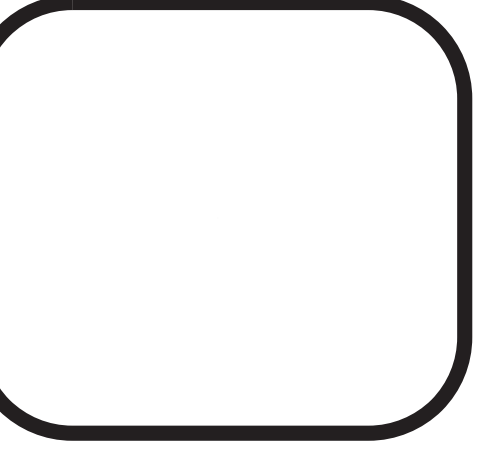


PROFILE - ROAD 1
 SCALE VERTICAL: 1"= 10'
 SCALE HORIZONTAL: 1"= 50'

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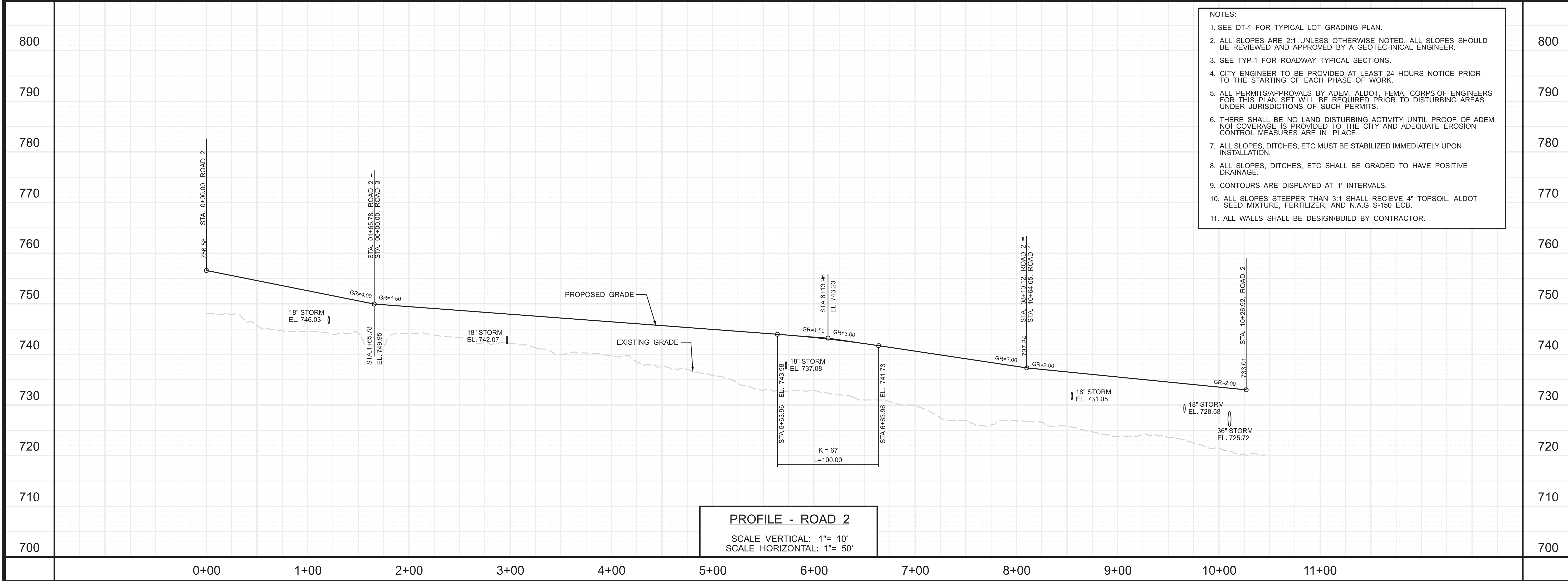
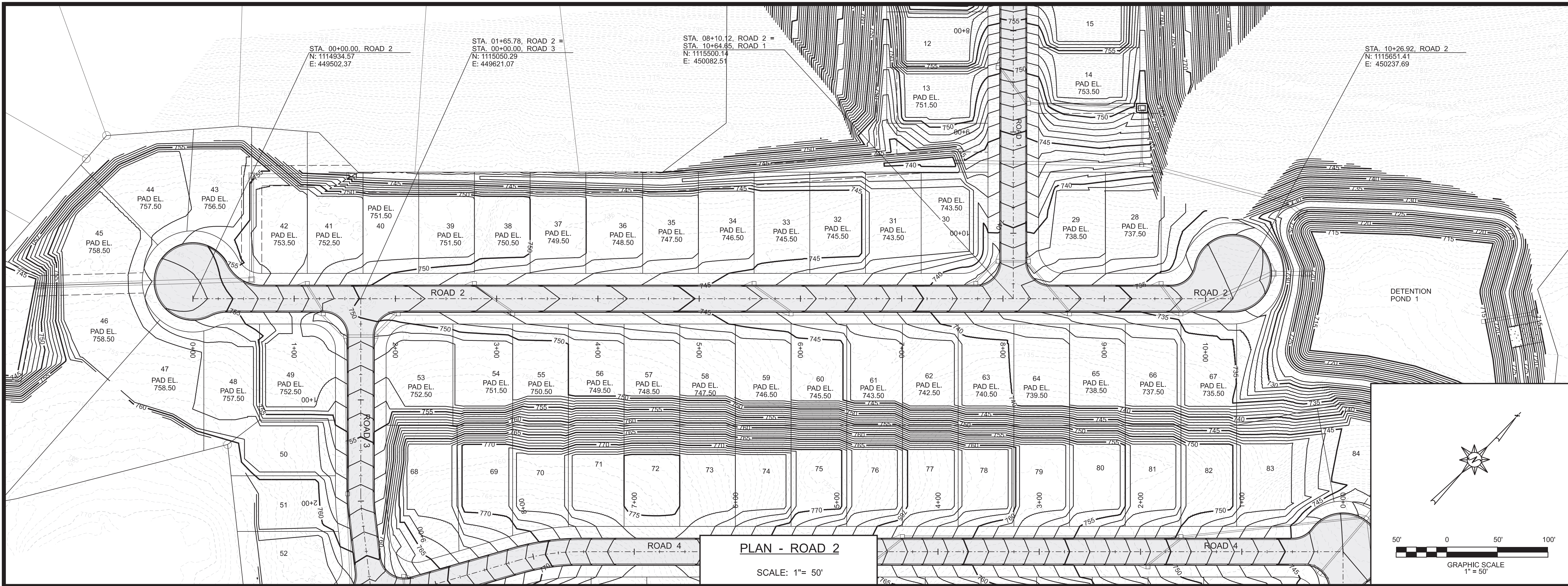
PROJECT INFO:
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 PLOTTED: 1/18/23

THIS SHEET CONTAINS:
 ROADWAY GRADING
 PROFILE - ROAD 1

SCALE: AS SHOWN
 SHEET 17 OF 44

GR-1B

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PROJECT INFO:
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PLOTTED: 1/18/23

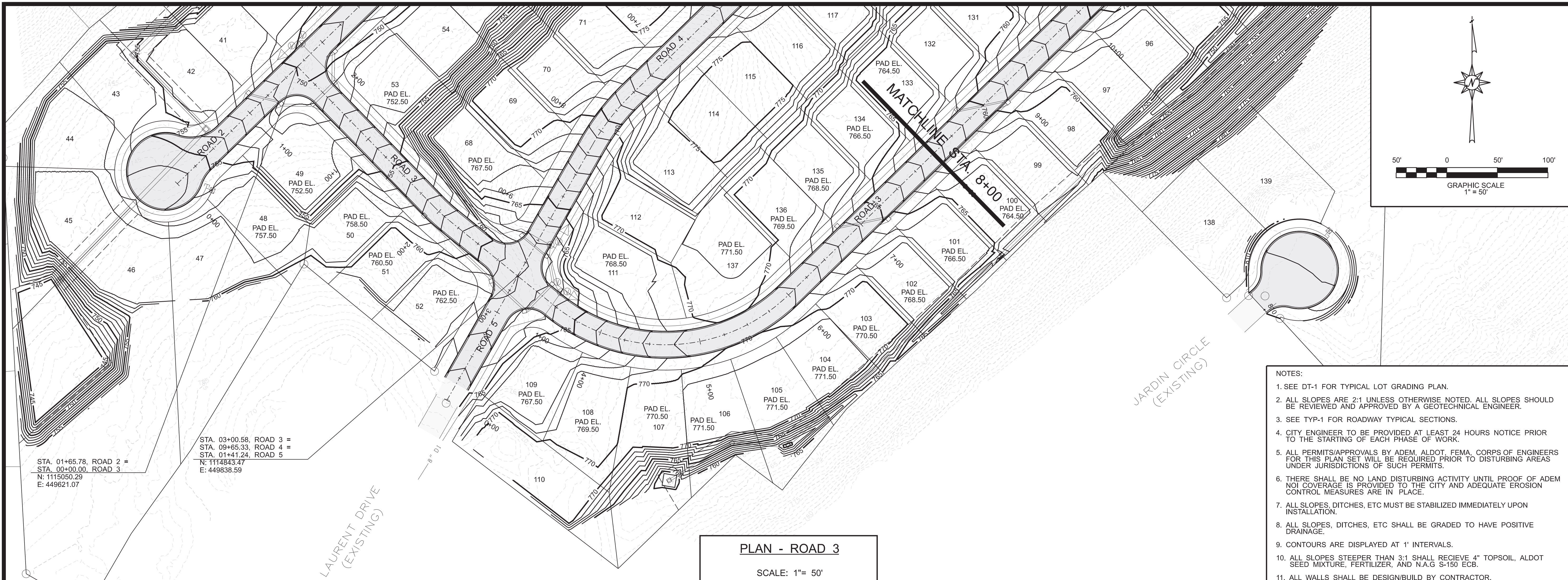
1/18/23

THIS SHEET CONTAINS:
ROADWAY GRADING
PLAN AND PROFILE -
ROAD 2 STA. 0+00.00
TO STA. 10+26.92

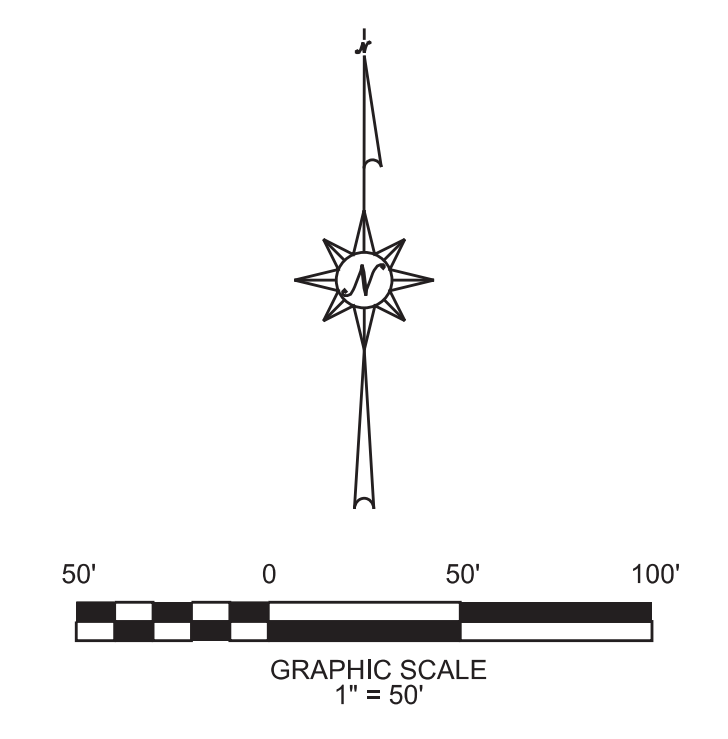
SCALE: 1" = 50'
SHEET 18 OF 44

GR-2

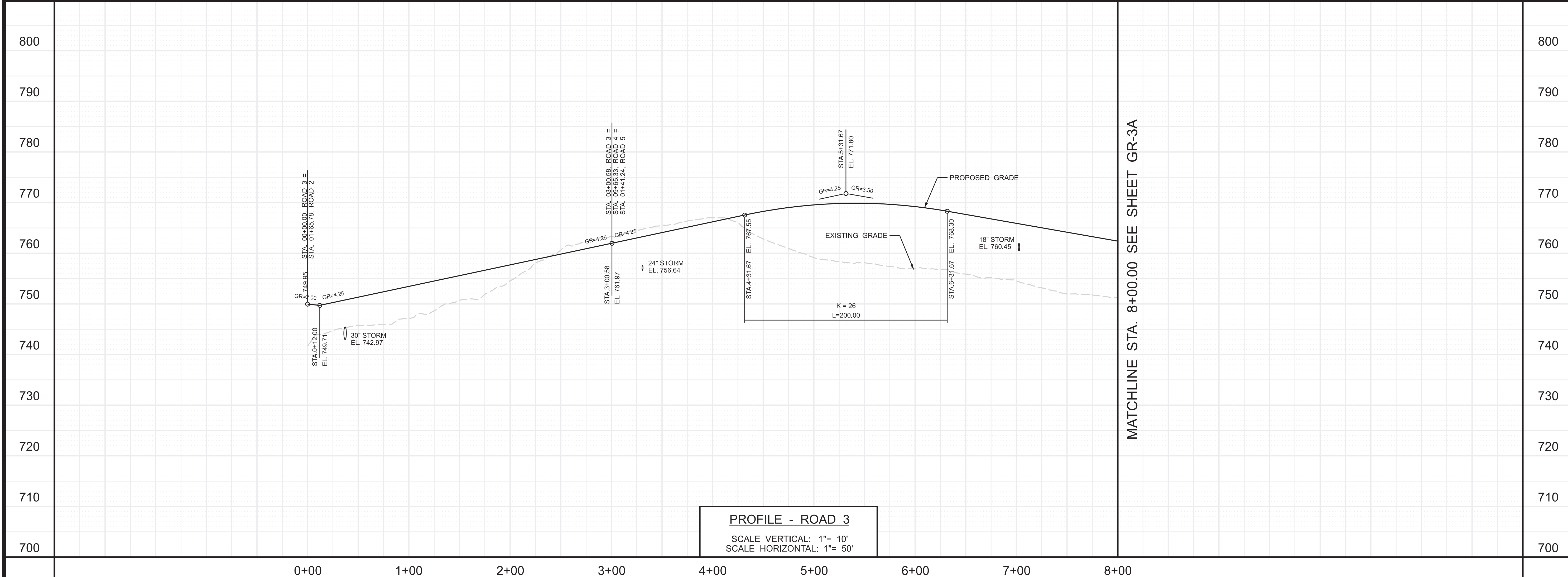
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PLAN - ROAD 3
SCALE: 1"= 50'



- NOTES:
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 11. ALL WALLS SHALL BE DESIGN/BUILD BY CONTRACTOR.



PROFILE - ROAD 3
SCALE VERTICAL: 1"= 10'
SCALE HORIZONTAL: 1"= 50'

MATCHLINE STA. 8+00.00 SEE SHEET GR-3A

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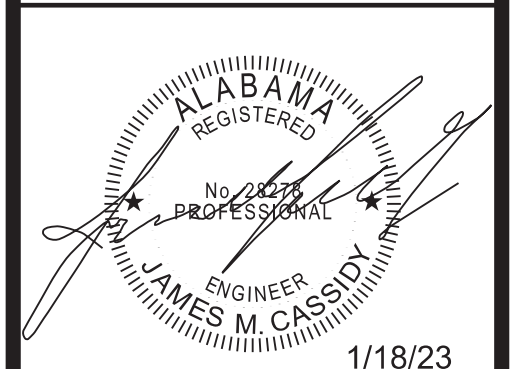
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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

PROJECT INFO:
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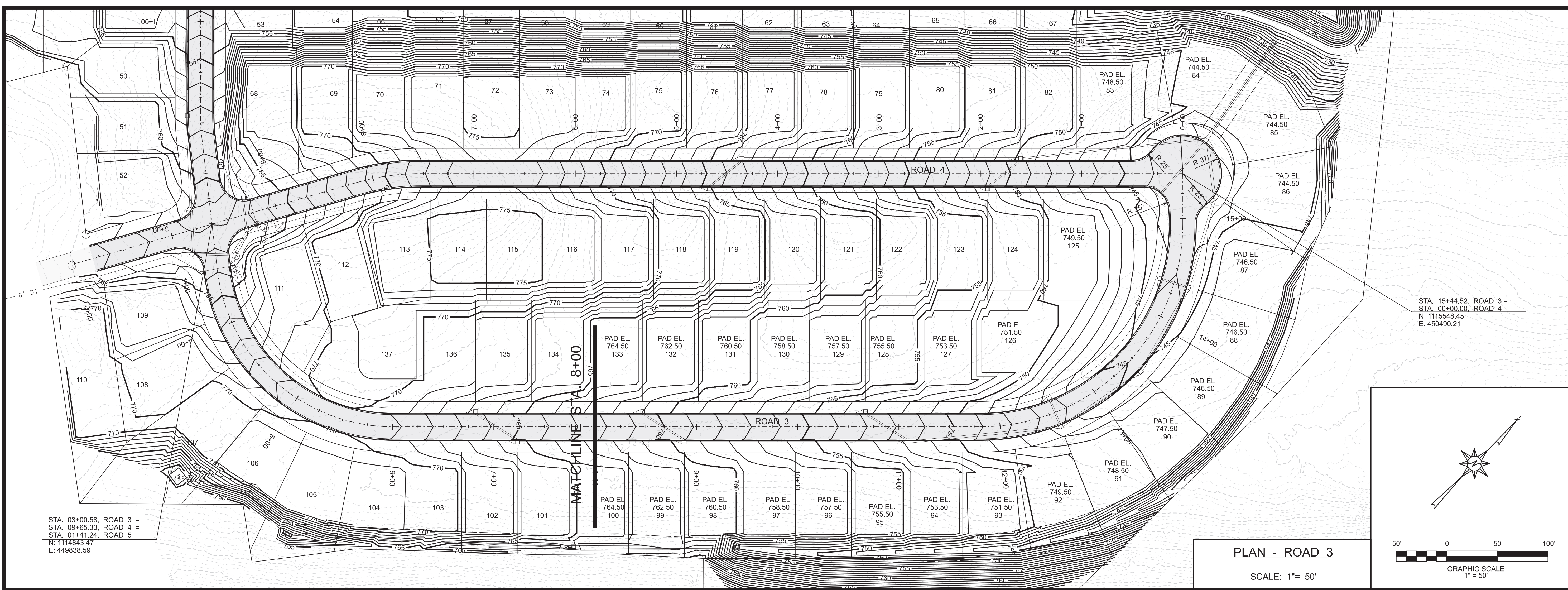


THIS SHEET CONTAINS:
ROADWAY GRADING
PLAN AND PROFILE -
ROAD 3 STA. 0+00.00
TO STA. 8+00.00

SCALE: 1"= 50'
SHEET 19 OF 44

GM-3A

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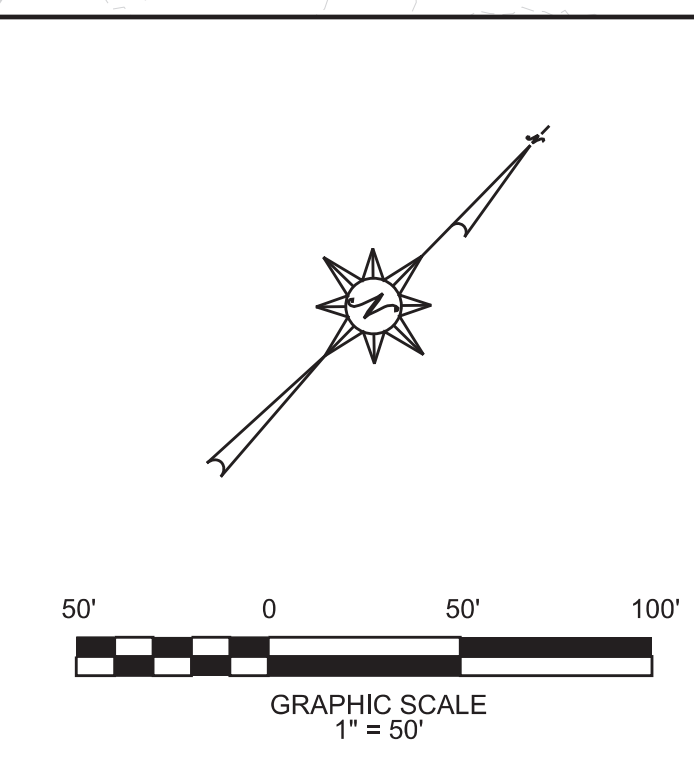


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 STA. 09+65.33, ROAD 4 =
 STA. 01+41.24, ROAD 5 =
 N: 1114343.47
 E: 449838.59

STA. 15+44.52, ROAD 3 =
 STA. 00+00.00, ROAD 4 =
 N: 1116548.45
 E: 450490.21

PLAN - ROAD 3

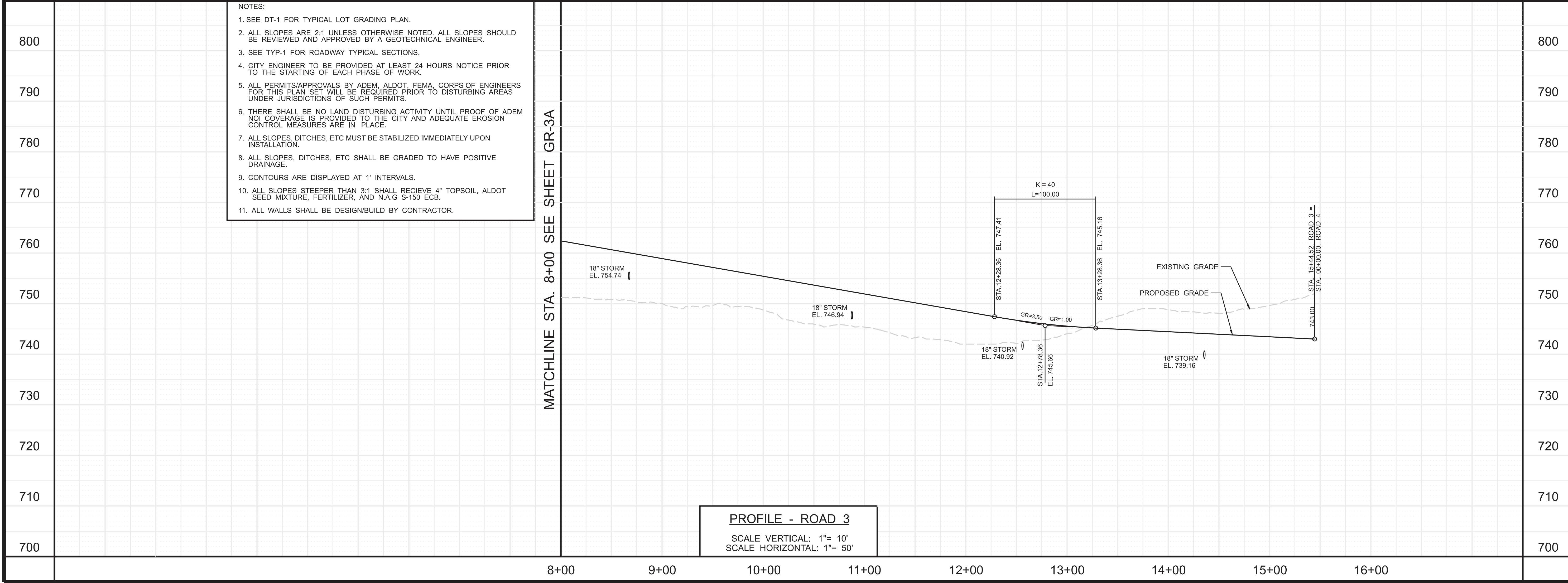
SCALE: 1" = 50'



NOTES:

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MATCHLINE STA. 8+00 SEE SHEET GR-3A



PROFILE - ROAD 3

SCALE VERTICAL: 1" = 10'
 SCALE HORIZONTAL: 1" = 50'

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DANSBY

LEEDS, ALABAMA

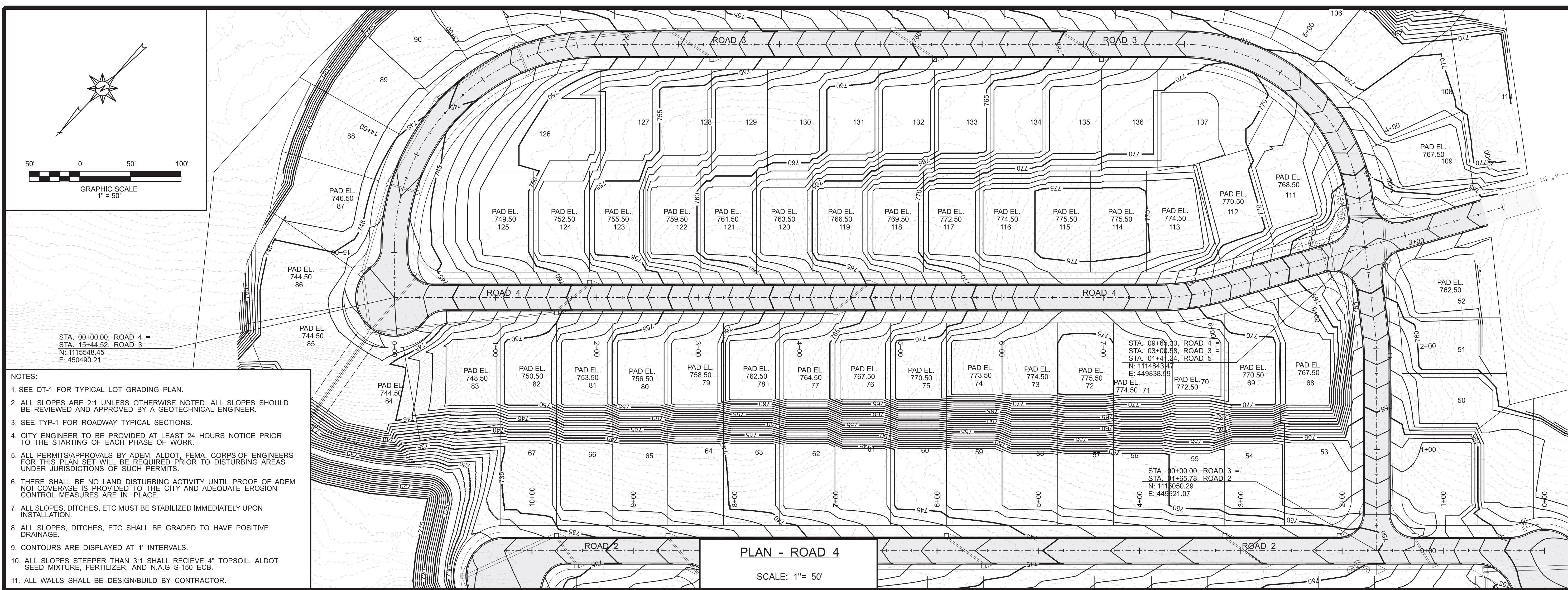
PROJECT INFO:
 INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

ALABAMA REGISTERED
 PROFESSIONAL ENGINEER
 JAMES M. CASIDY
 1/18/23

THIS SHEET CONTAINS:
 ROADWAY GRADING
 PLAN AND PROFILE -
 ROAD 3 STA. 8+00.00
 TO STA. 15+44.52

SCALE: 1" = 50'
 SHEET 20 OF 44

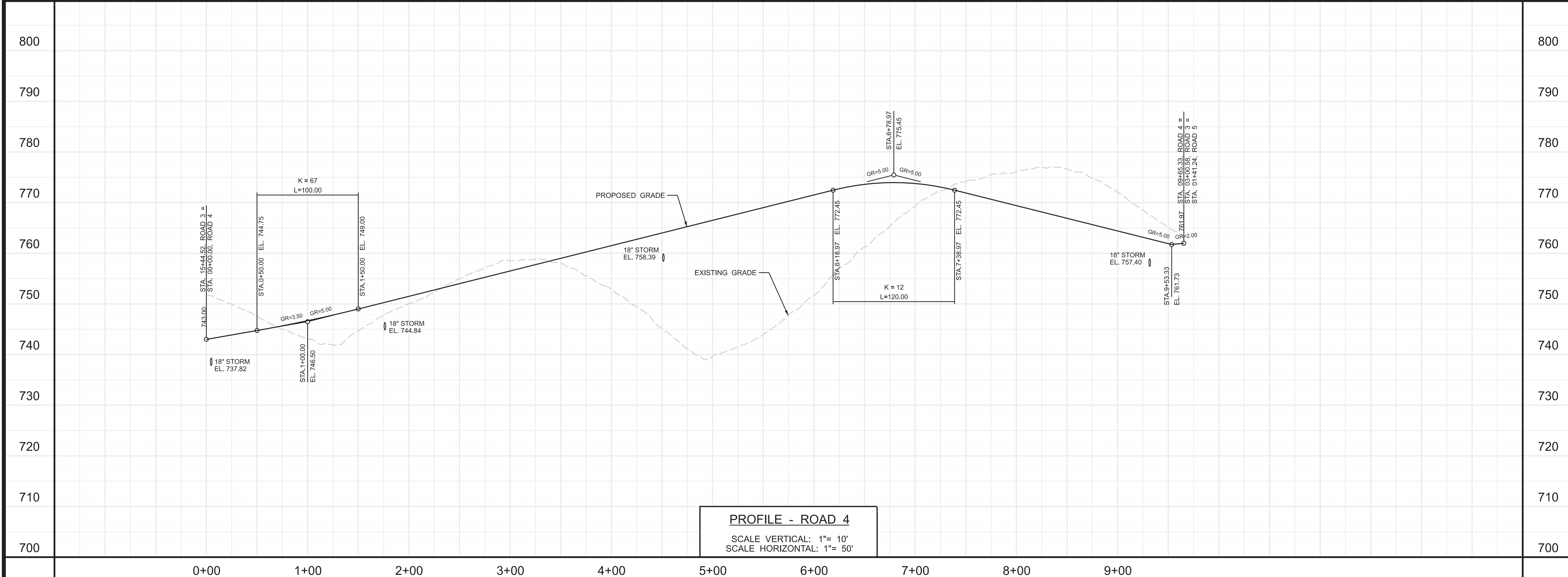
GR-3B



PLAN - ROAD 4

SCALE: 1" = 50'

- NOTES:
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PROFILE - ROAD 4

SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

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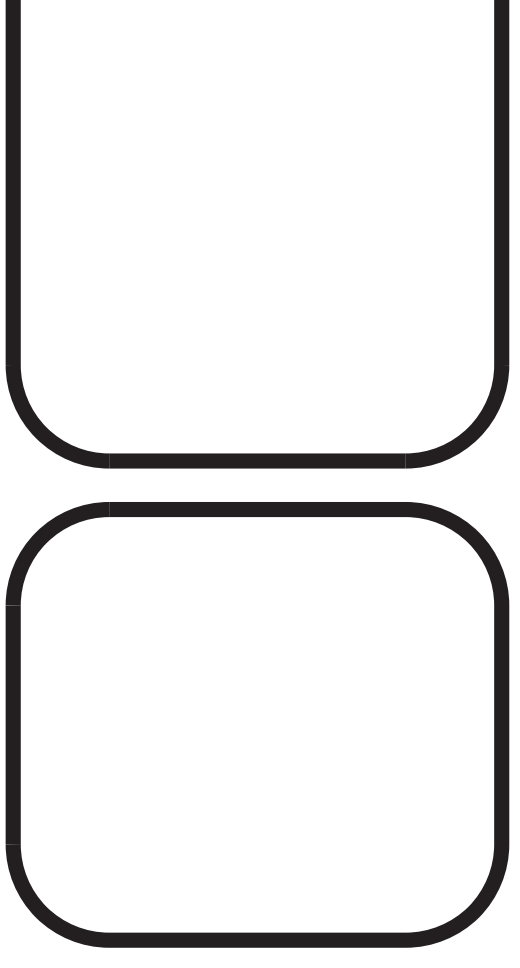
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LEEDS, ALABAMA



PROJECT INFO:

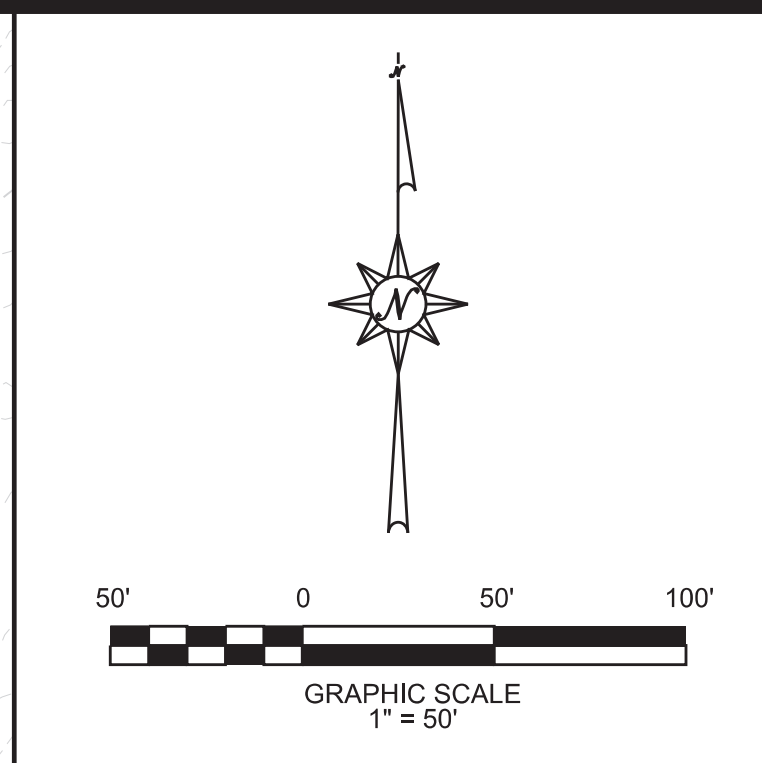
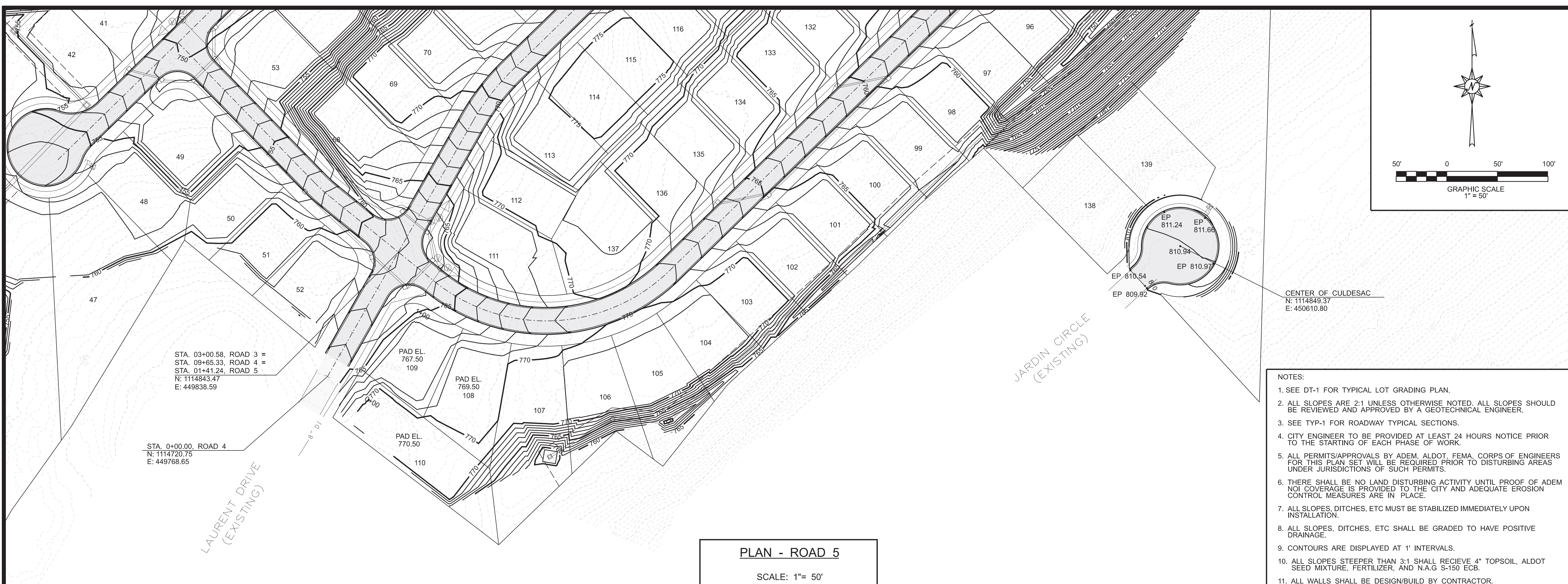
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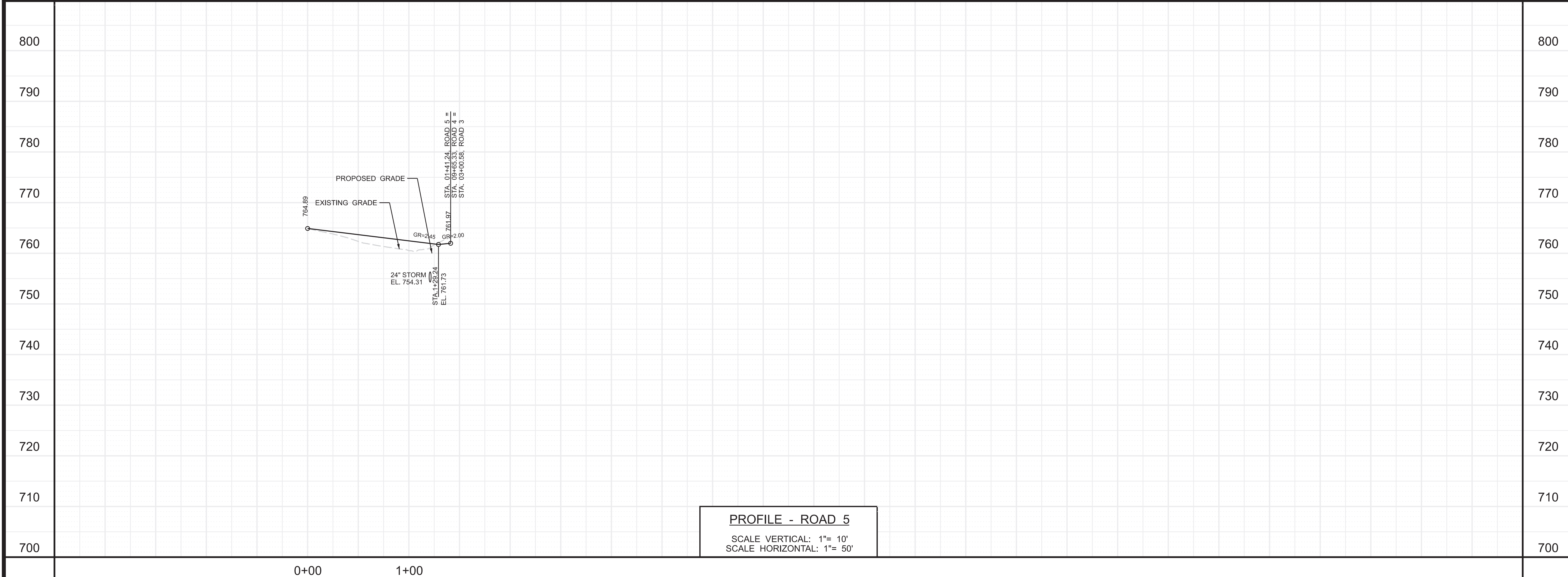
THIS SHEET CONTAINS:
 ROADWAY GRADING
 PLAN AND PROFILE -
 ROAD 4 STA. 0+00.00
 TO STA. 9+65.33

SCALE: 1" = 50
 SHEET 21 OF 44

GR-4



- NOTES:
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 11. ALL WALLS SHALL BE DESIGN/BUILD BY CONTRACTOR.



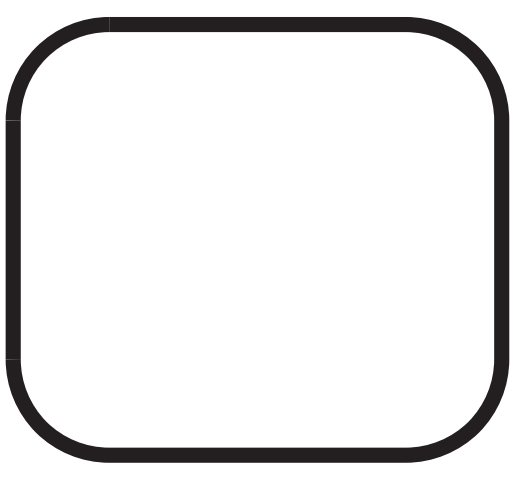
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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA



PROJECT INFO:
 INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

ALABAMA REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASIDY
 1/18/23

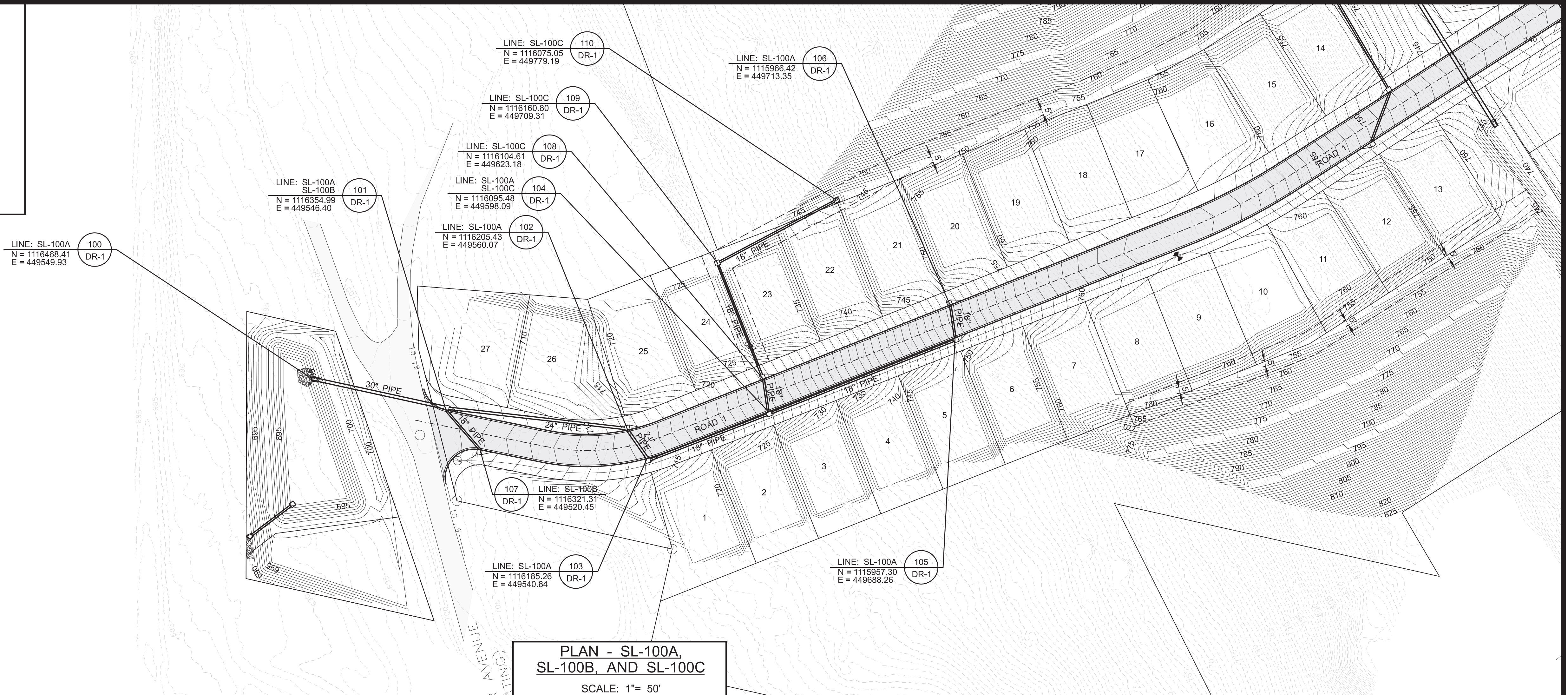
THIS SHEET CONTAINS:
 ROADWAY GRADING
 PLAN AND PROFILE -
 ROAD 5 STA. 0+00.00
 TO STA. 1+41.24

SCALE: 1" = 50'
 SHEET 22 OF 44

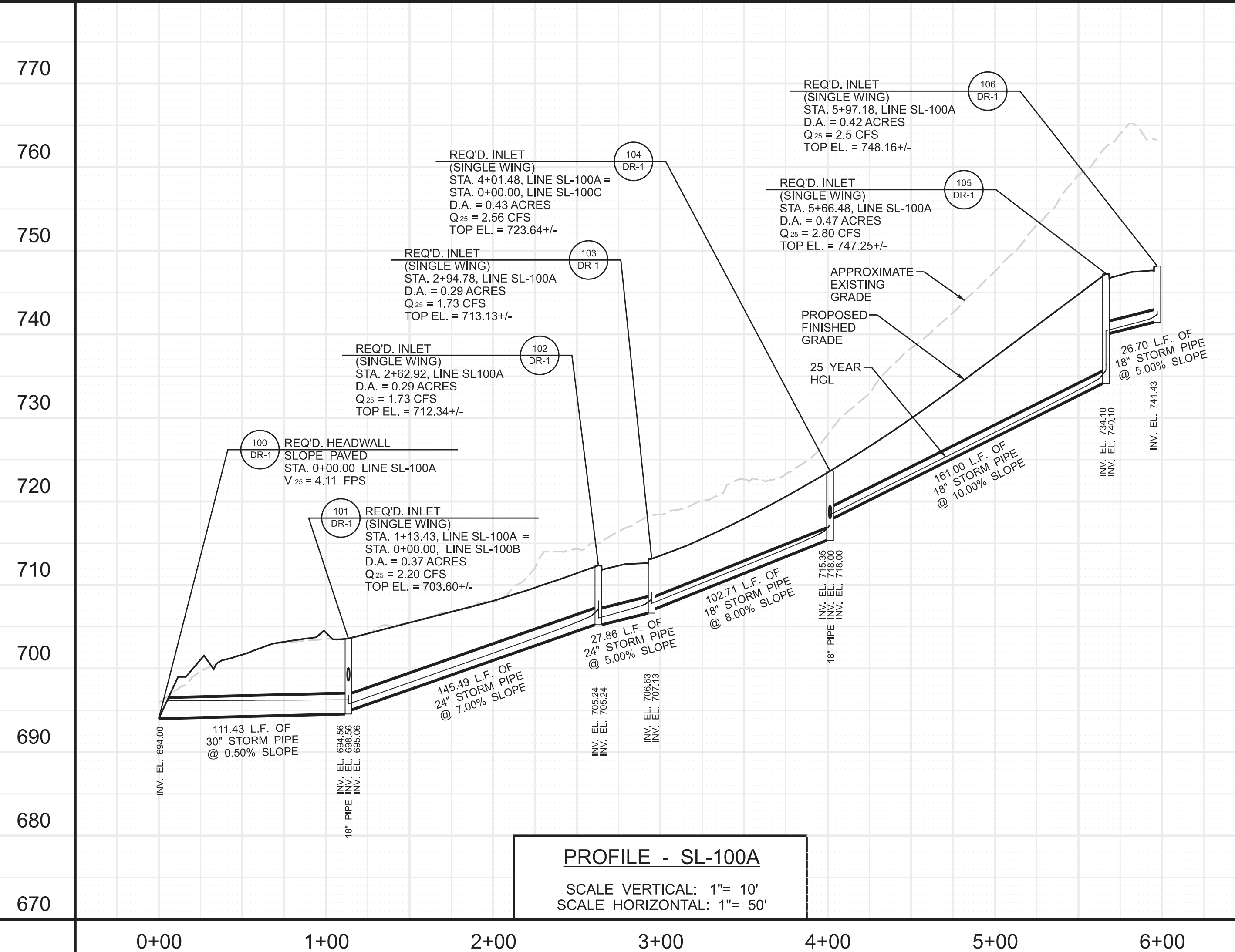
GR-5

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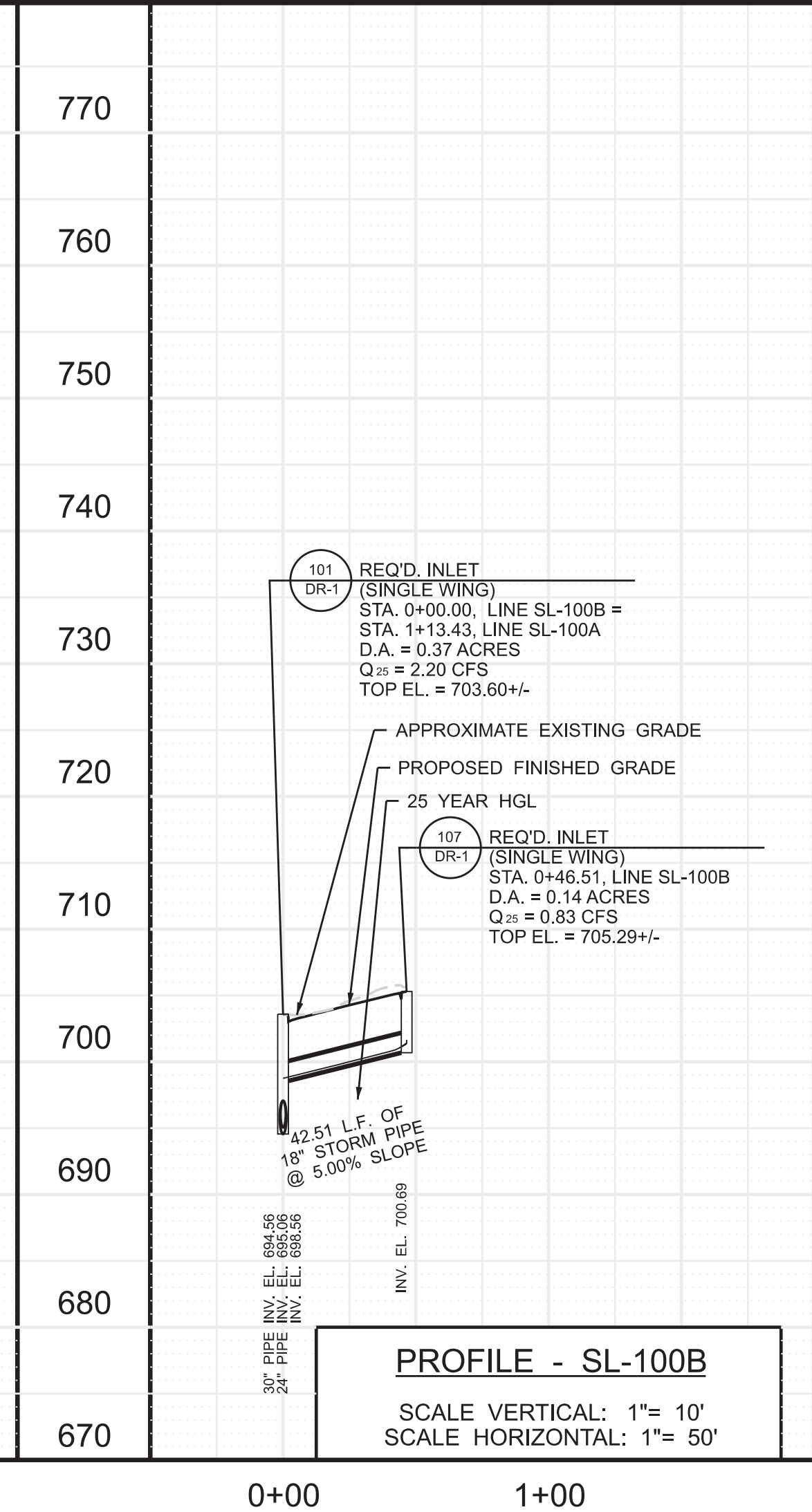
- NOTES:
1. ALL PIPE SHALL BE BEDDED IN STONE TO SPRING LINE AND COMPACTED FILL ABOVE TO 98% MODIFIED PROCTOR IN GEOTECHNICAL ENGINEER RECOMMENDED LIFTS.
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 3. ALL STORM SEWER INVERTS SHALL BE POURED CONCRETE.
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 6. ALL OUTLET HEADWALLS SHALL HAVE ENERGY DISSIPATORS
 7. DRAINAGE STRUCTURE DETAILS CAN BE FOUND ON SHEET DT-2.
 8. SEE DT-1 FOR TYPICAL LOT GRADING PLAN.



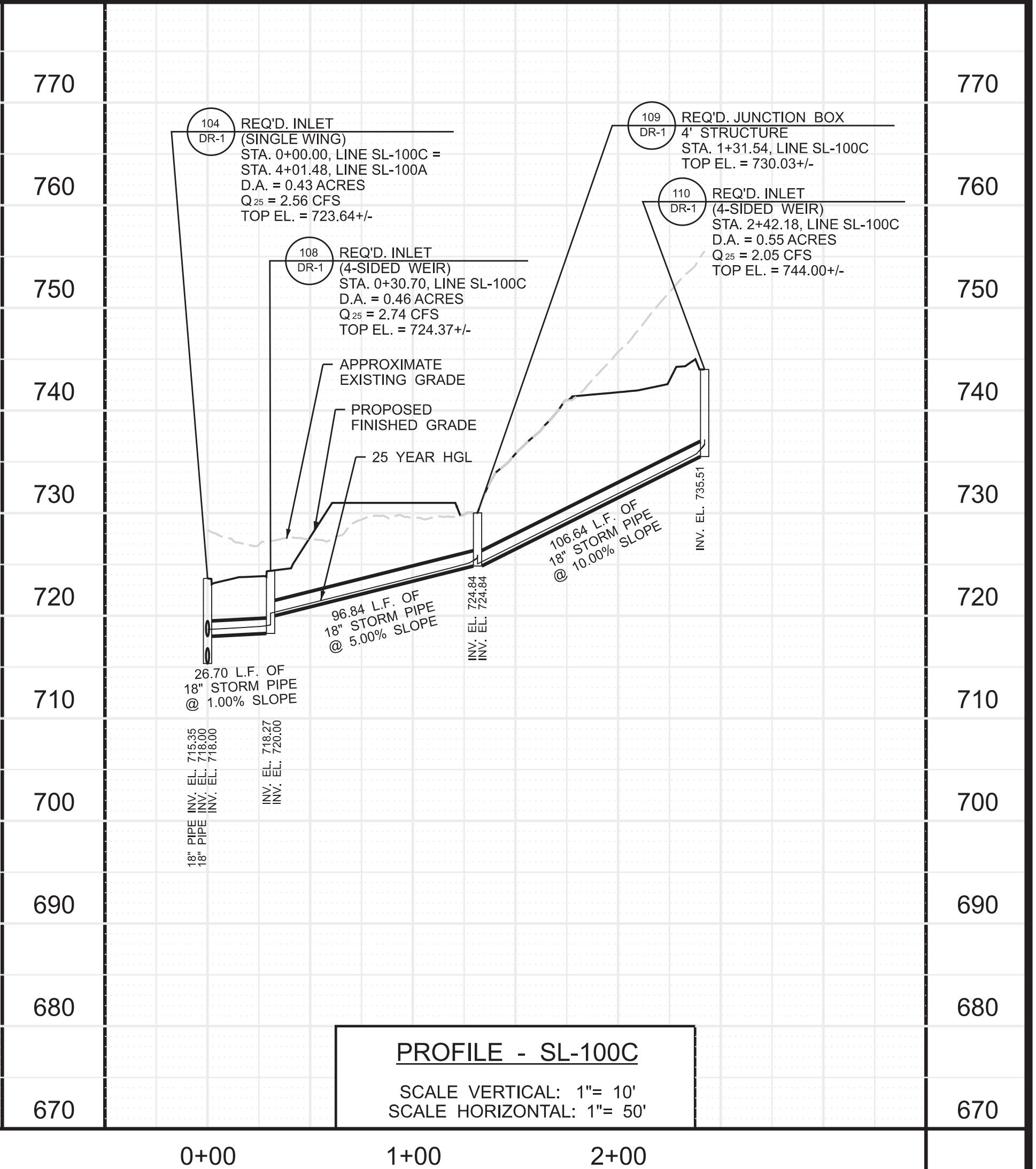
PLAN - SL-100A, SL-100B, AND SL-100C
SCALE: 1"= 50'



PROFILE - SL-100A
SCALE VERTICAL: 1"= 10'
SCALE HORIZONTAL: 1"= 50'



PROFILE - SL-100B
SCALE VERTICAL: 1"= 10'
SCALE HORIZONTAL: 1"= 50'



PROFILE - SL-100C
SCALE VERTICAL: 1"= 10'
SCALE HORIZONTAL: 1"= 50'

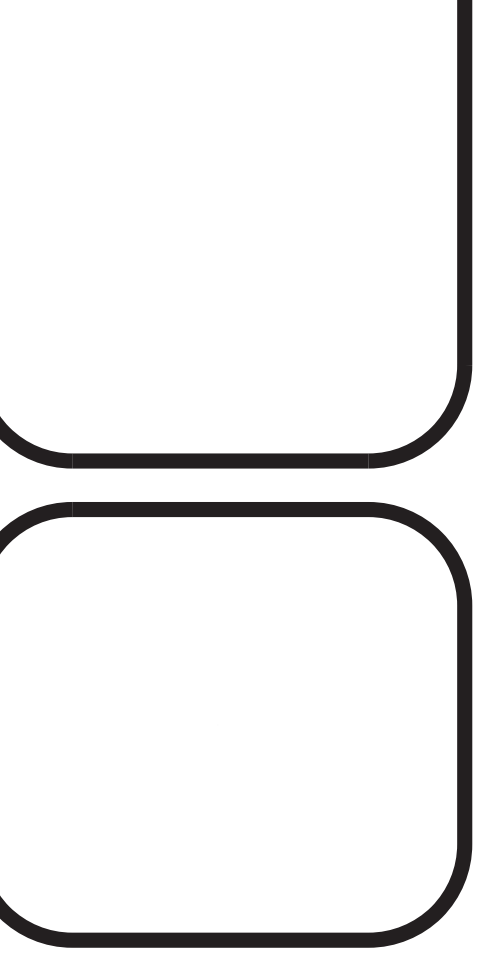
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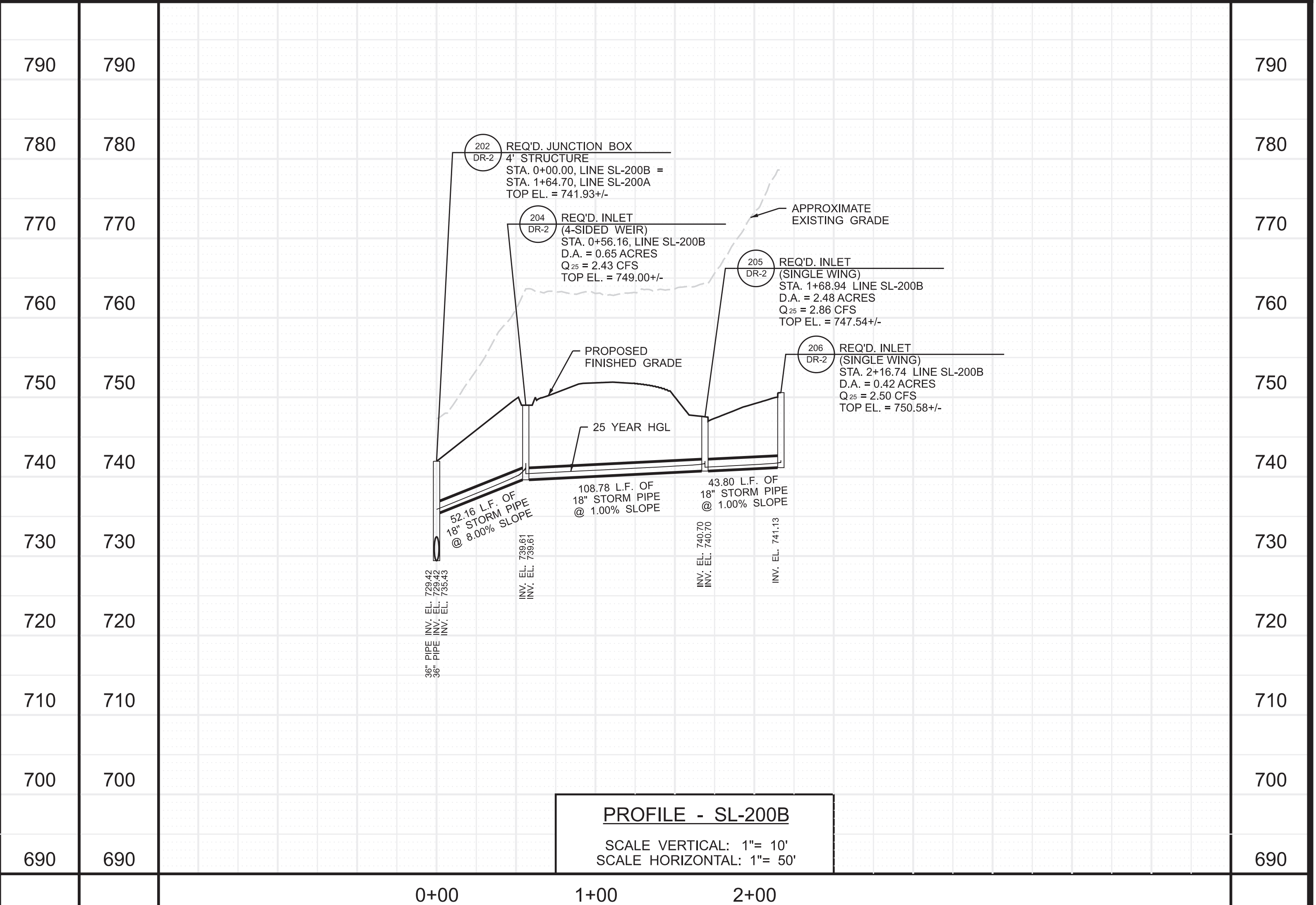
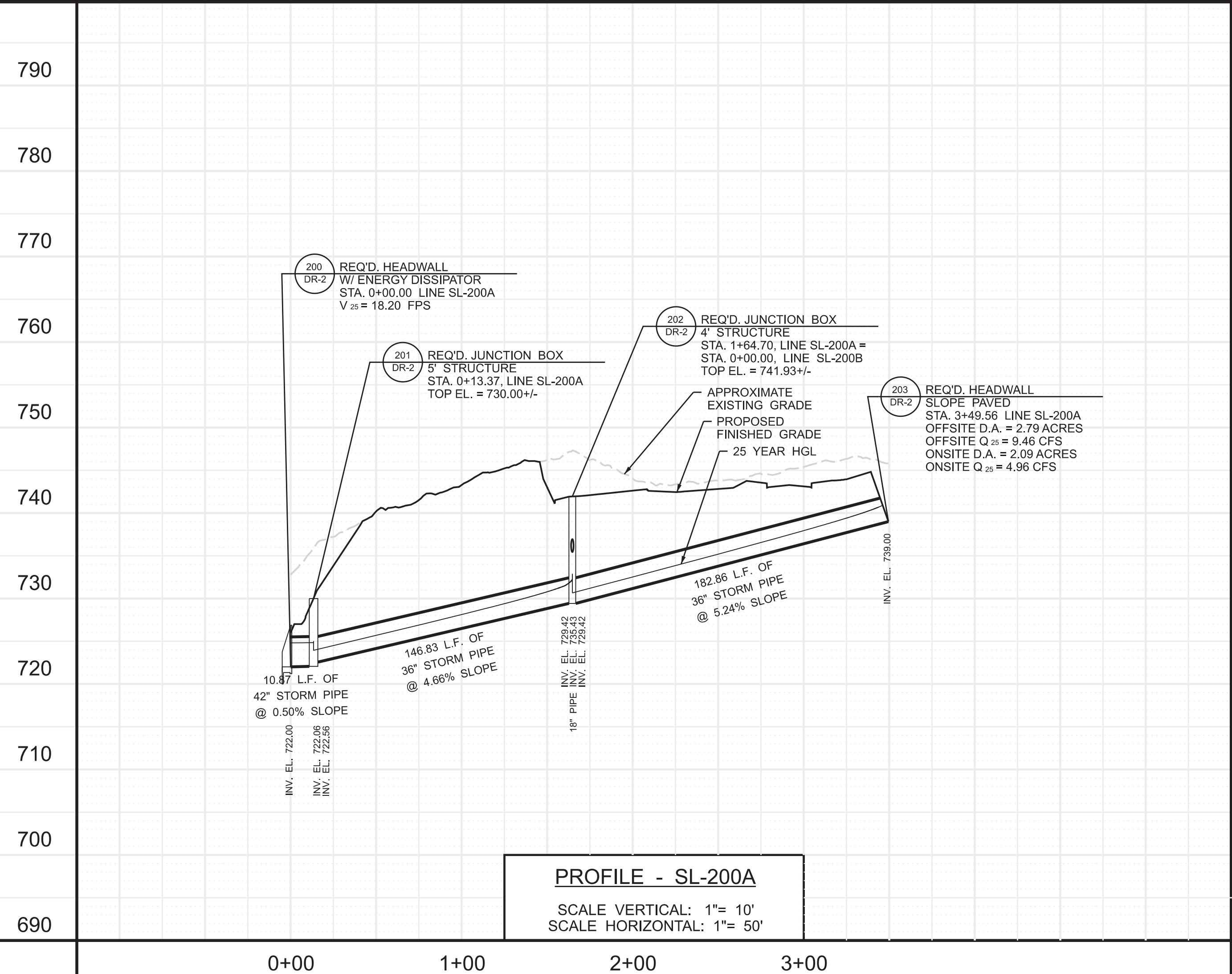
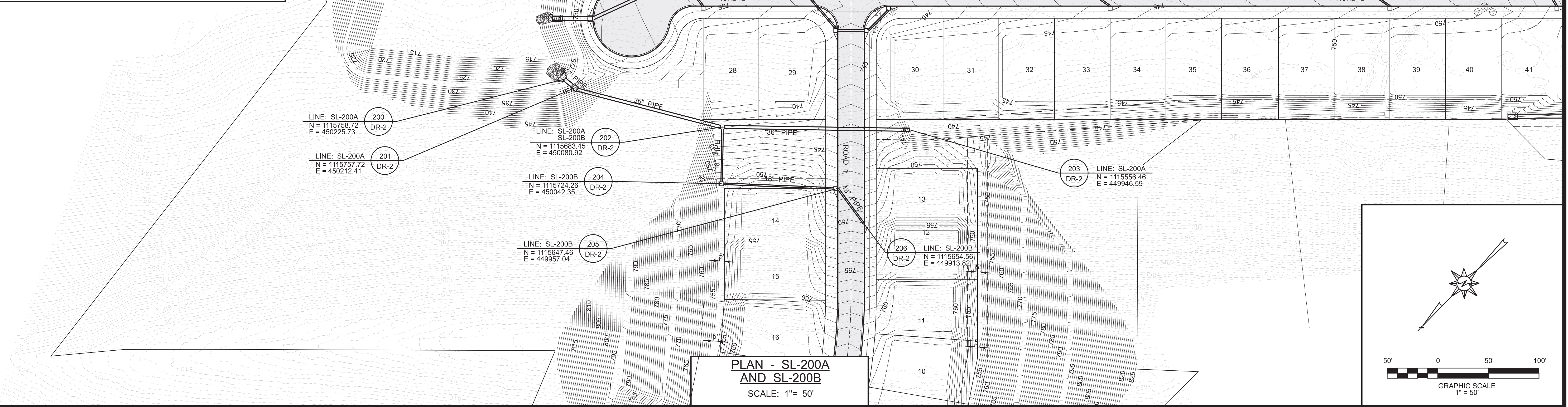
THIS SHEET CONTAINS:
DRAINAGE PLAN
AND PROFILES
LINES - SL-100A,
SL-100B, AND
SL-100C

SCALE: 1"= 50'
SHEET 23 OF 44

DR-1

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 8. SEE DT-1 FOR TYPICAL LOT GRADING PLAN.



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DANSBY

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PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

REGISTERED PROFESSIONAL ENGINEER
JAMES M. CASADY
1/18/23

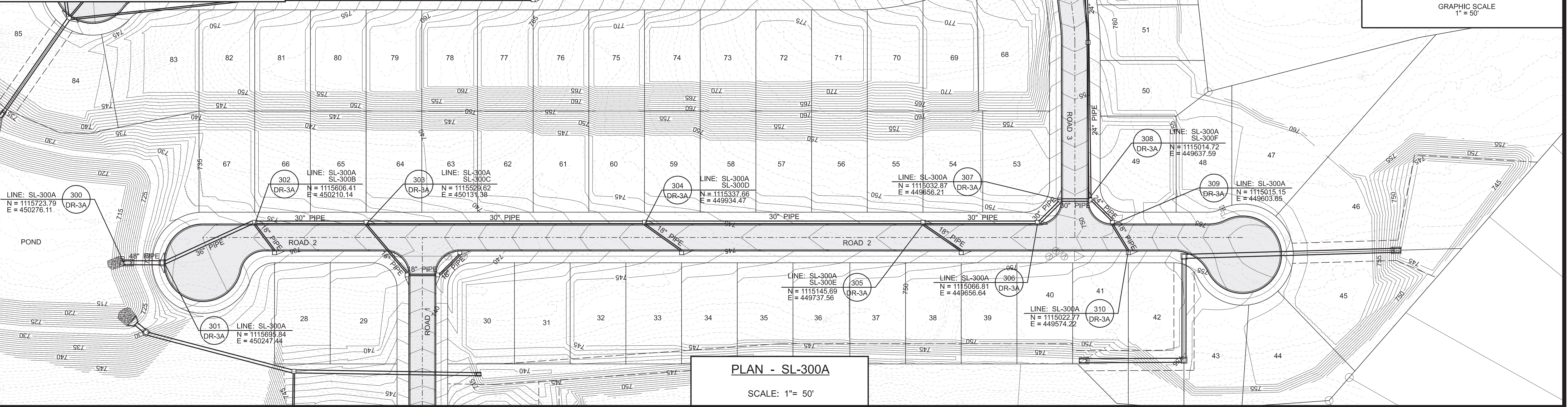
THIS SHEET CONTAINS:
DRAINAGE PLAN AND PROFILES -
LINES SL-200A AND SL-200B

SCALE: 1" = 50'
SHEET 24 OF 44

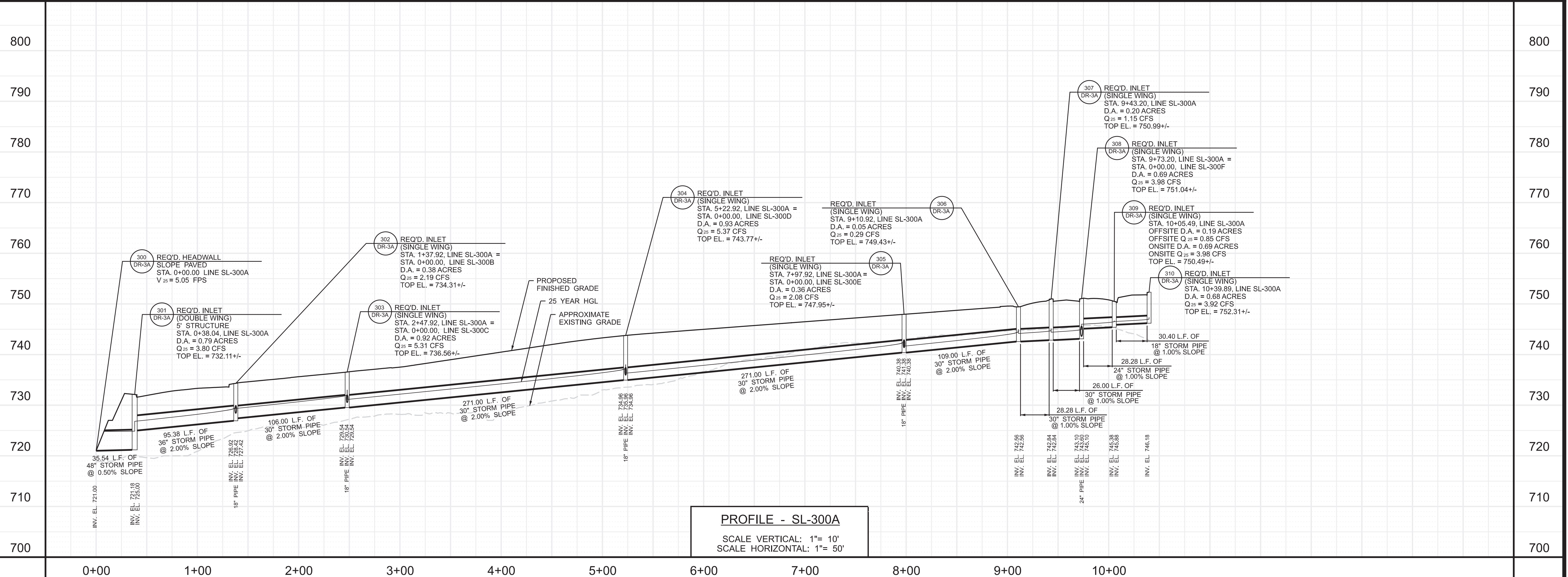
DR-2

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 8. SEE DT-1 FOR TYPICAL LOT GRADING PLAN.



PLAN - SL-300A
SCALE: 1" = 50'



PROFILE - SL-300A
SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

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INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

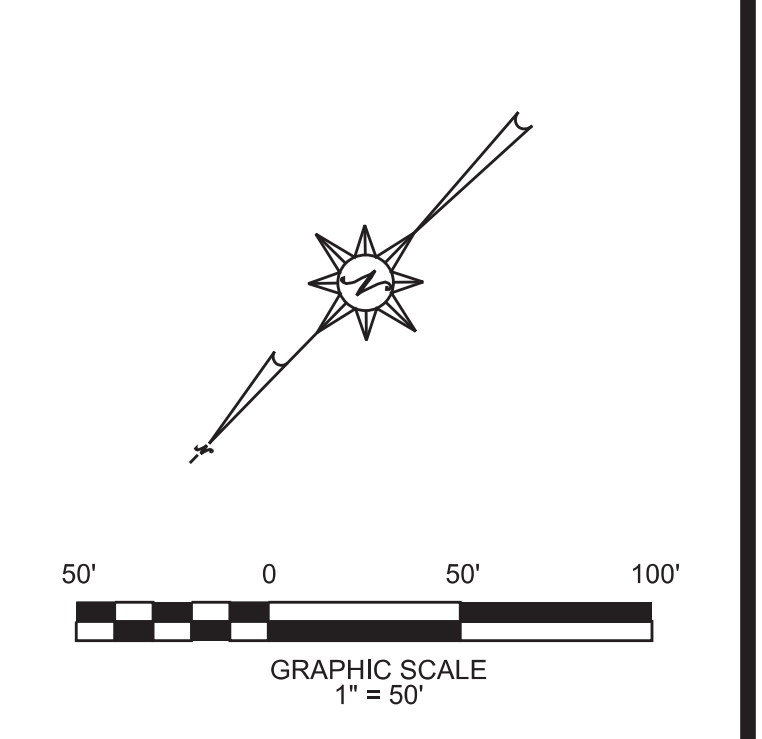
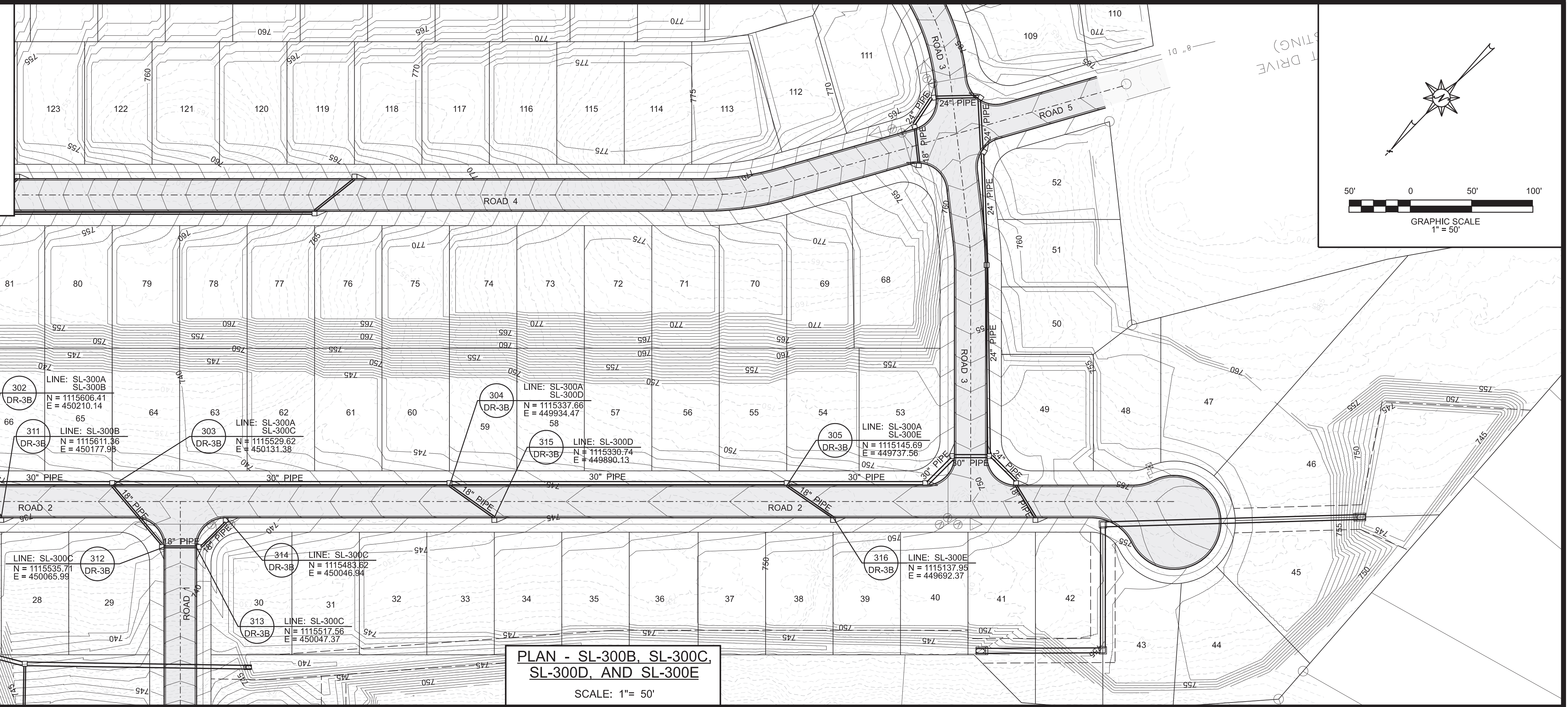
ENGINEER
 JAMES M. CASADY
 1/18/23

THIS SHEET CONTAINS:
 DRAINAGE PLAN
 AND PROFILE
 LINE - SL-300A

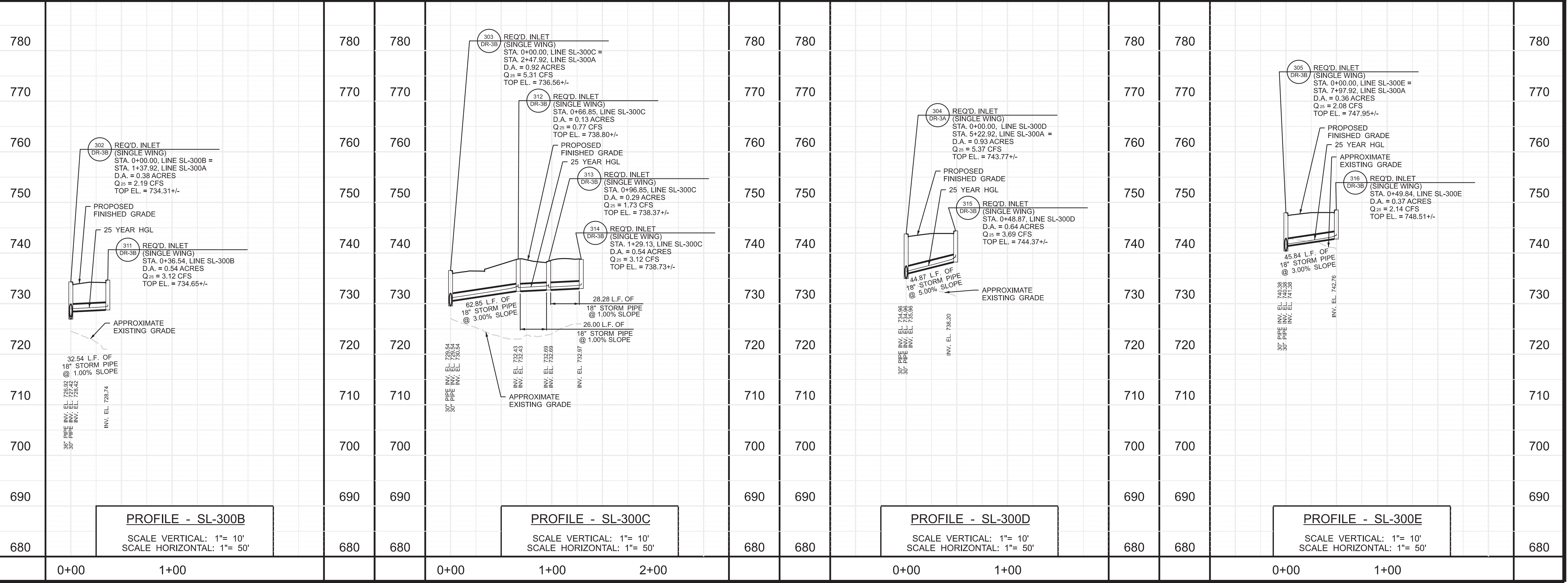
SCALE: 1" = 50'
 SHEET 25 OF 44

DR-3A

- NOTES:
1. ALL PIPE SHALL BE BEDDED IN STONE TO SPRING LINE AND COMPACTED FILL ABOVE TO 98% MODIFIED PROCTOR IN GEOTECHNICAL ENGINEER RECOMMENDED LIFTS.
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 8. SEE DT-1 FOR TYPICAL LOT GRADING PLAN.



PLAN - SL-300B, SL-300C, SL-300D, AND SL-300E
SCALE: 1" = 50'



PROFILE - SL-300B
SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

PROFILE - SL-300C
SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

PROFILE - SL-300D
SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

PROFILE - SL-300E
SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

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CONSTRUCTION PLANS FOR:

DANSBY

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PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

1/18/23

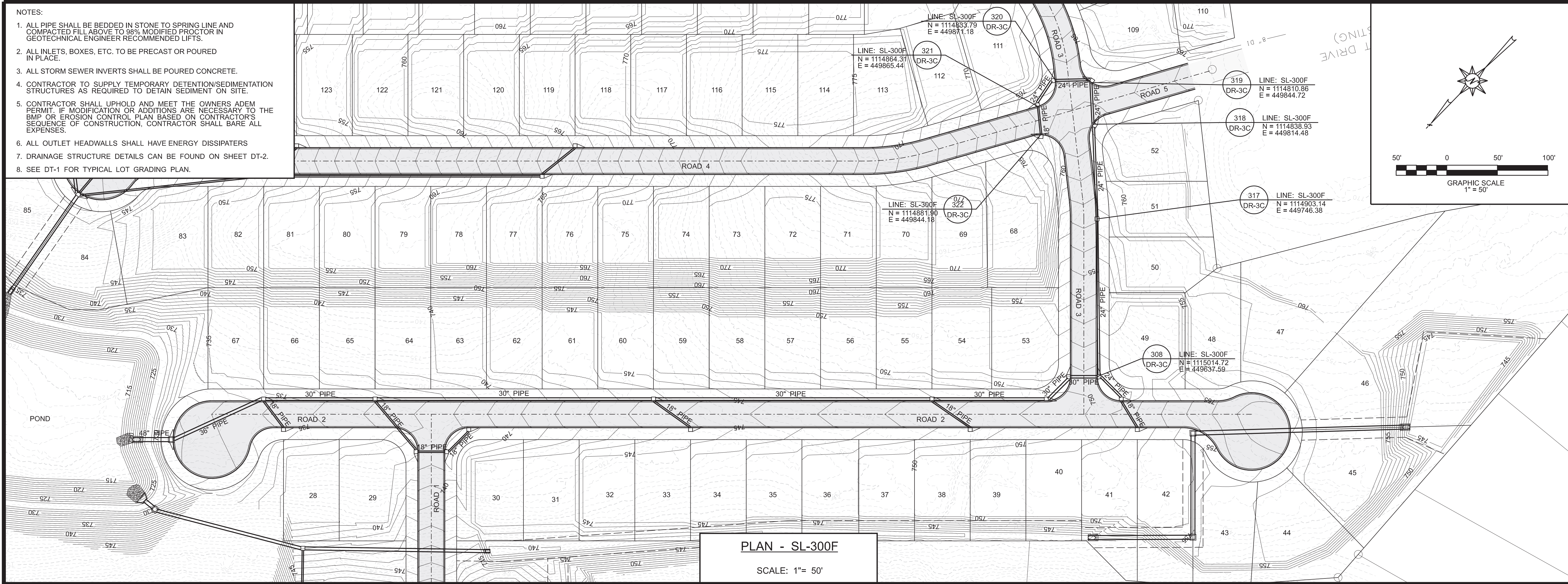
THIS SHEET CONTAINS:
DRAINAGE PLAN
AND PROFILES
LINES - SL-300B,
SL-300C, SL-300D,
AND SL-300E

SCALE: 1" = 50'
SHEET 26 OF 44

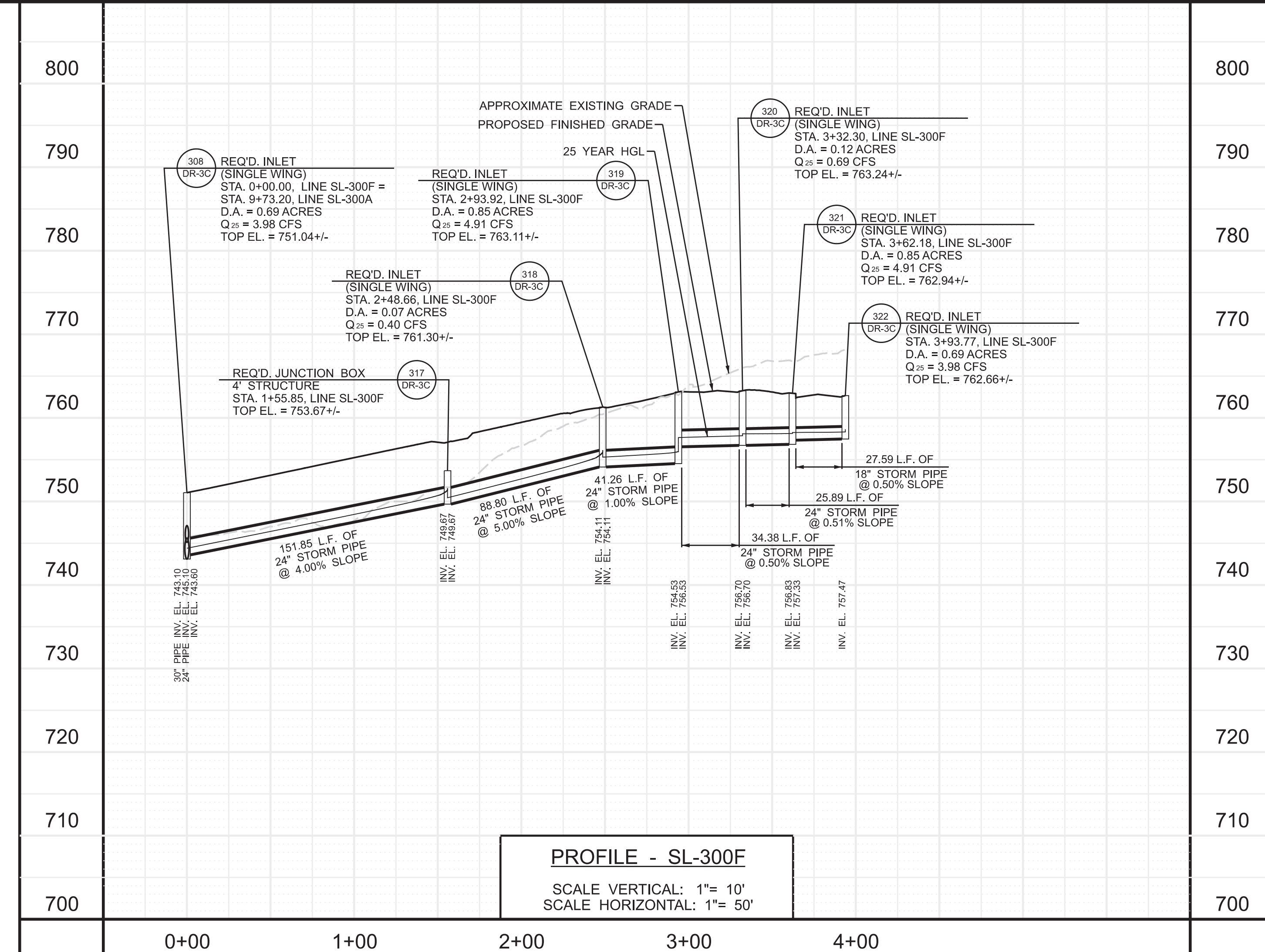
DR-3B

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 8. SEE DT-1 FOR TYPICAL LOT GRADING PLAN.



PLAN - SL-300F
SCALE: 1"= 50'



PROFILE - SL-300F
SCALE VERTICAL: 1"= 10'
SCALE HORIZONTAL: 1"= 50'

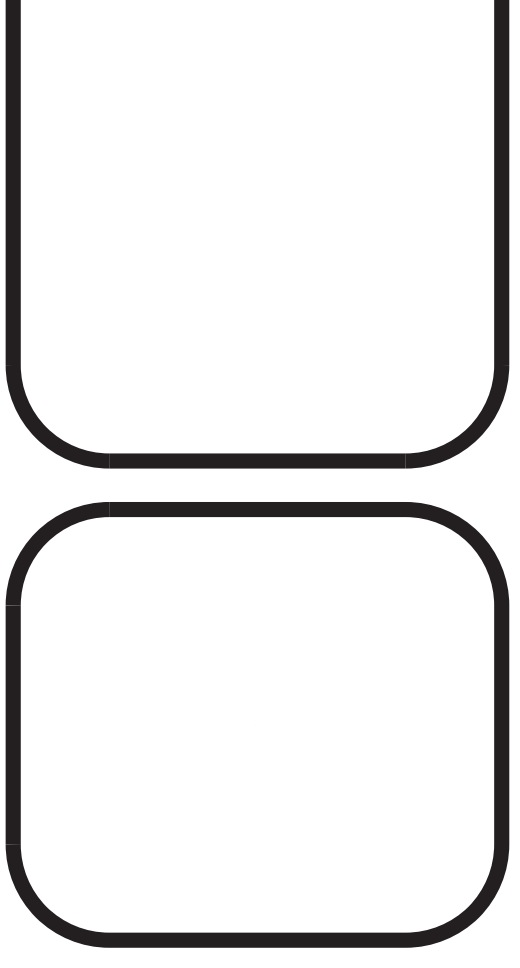
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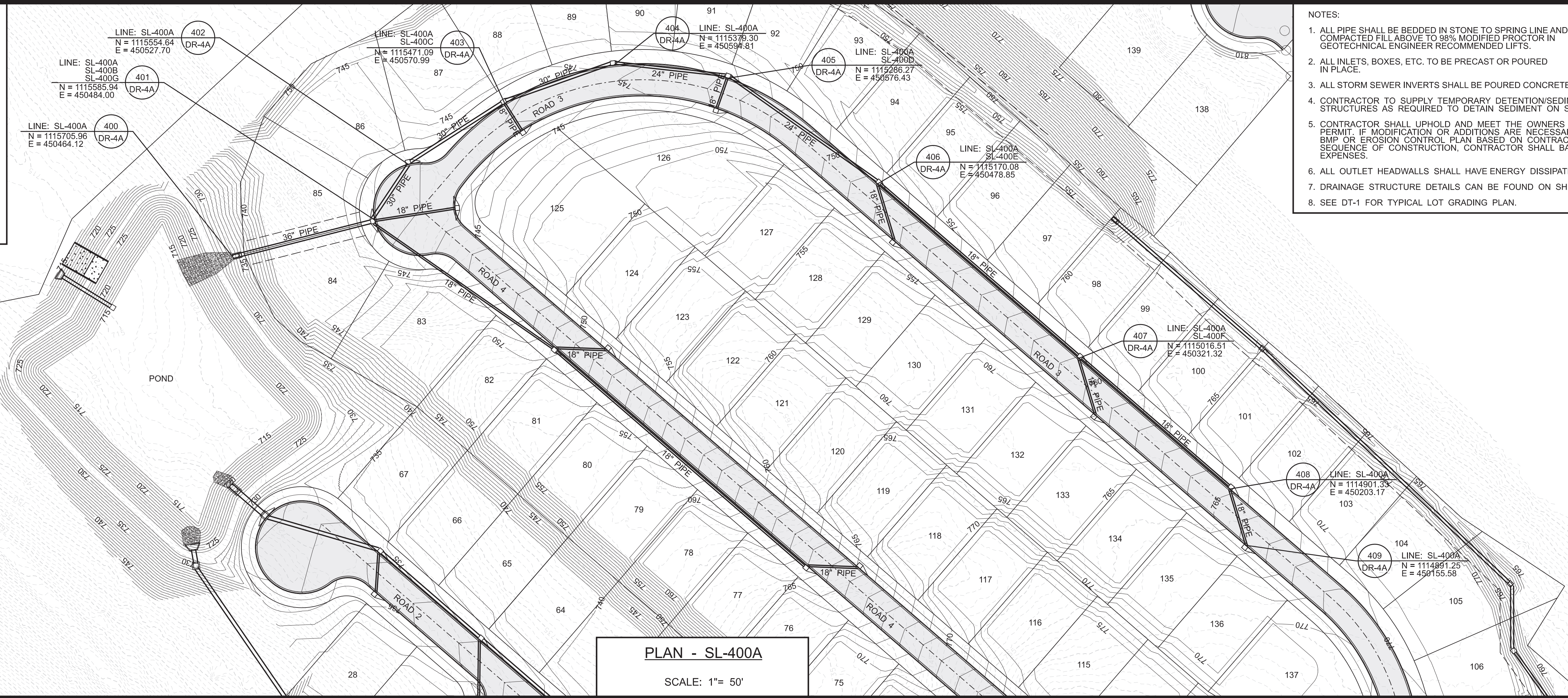
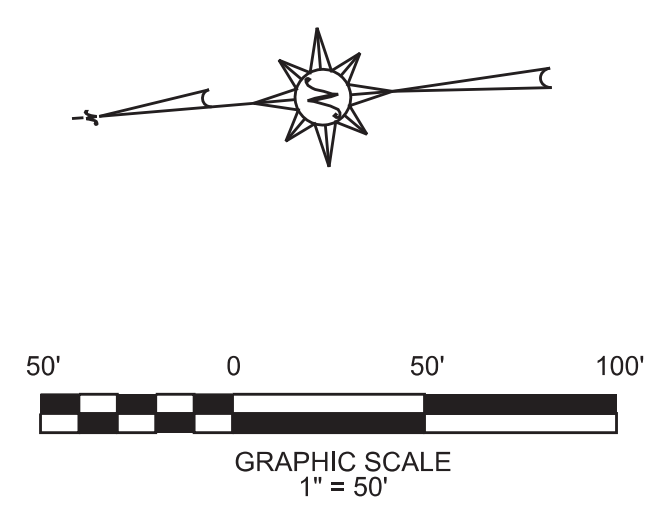
PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

THIS SHEET CONTAINS:
DRAINAGE PLAN
AND PROFILE
LINE - SL-300F

SCALE: 1"= 50'
SHEET 27 OF 44

DR-3C

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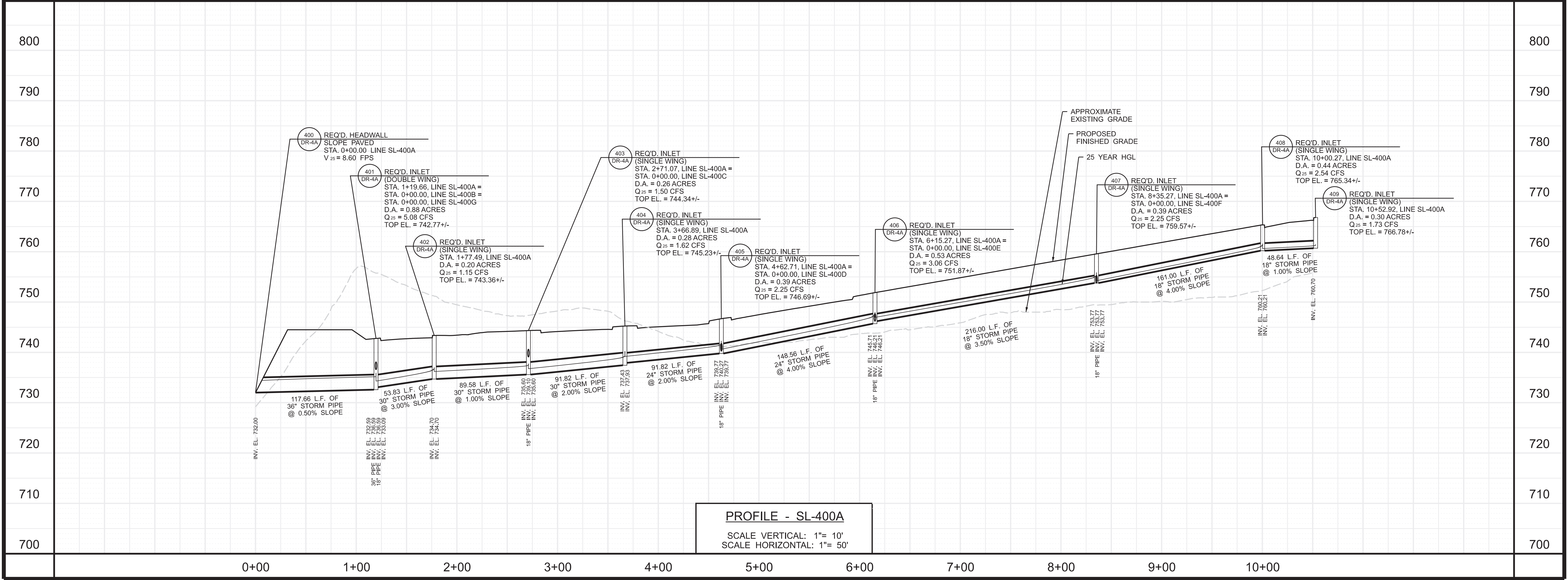
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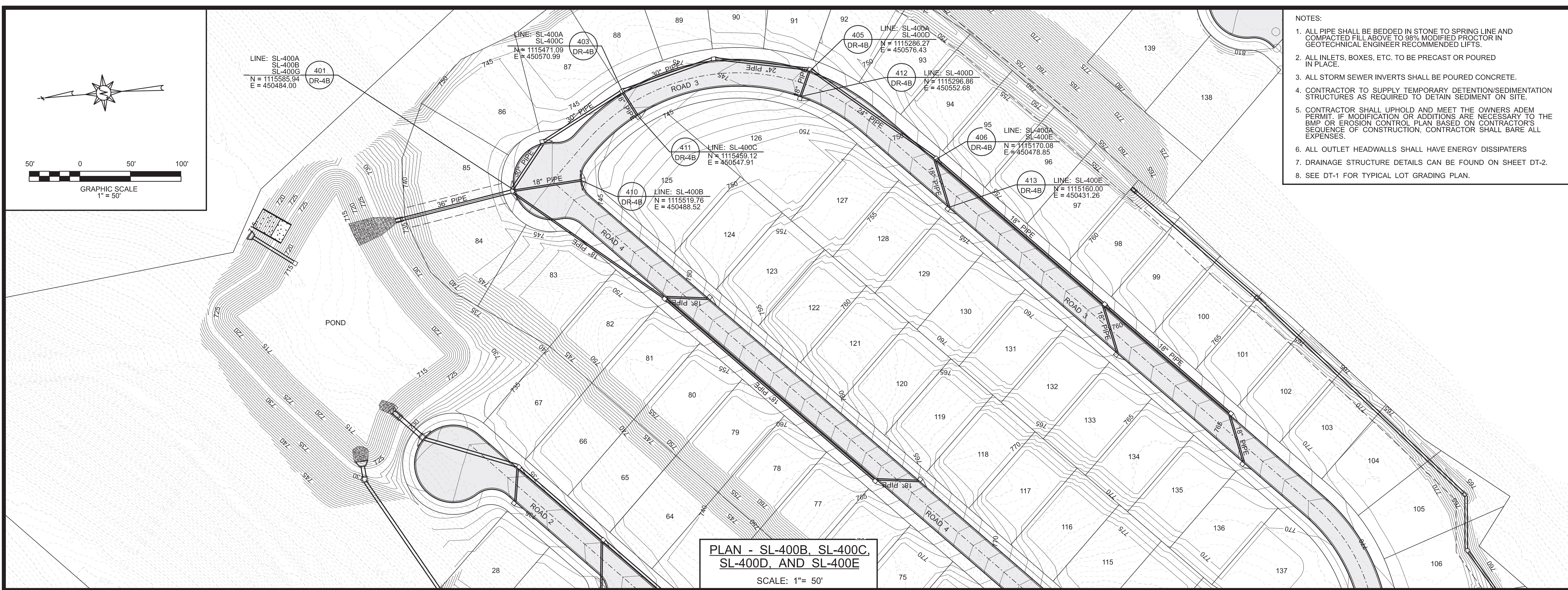
ENGINEER
 JAMES M. CASIDY
 1/18/23

THIS SHEET CONTAINS:
 DRAINAGE PLAN
 AND PROFILE -
 LINE SL-400A

SCALE: 1" = 50'
 SHEET 28 OF 44

DR-4A

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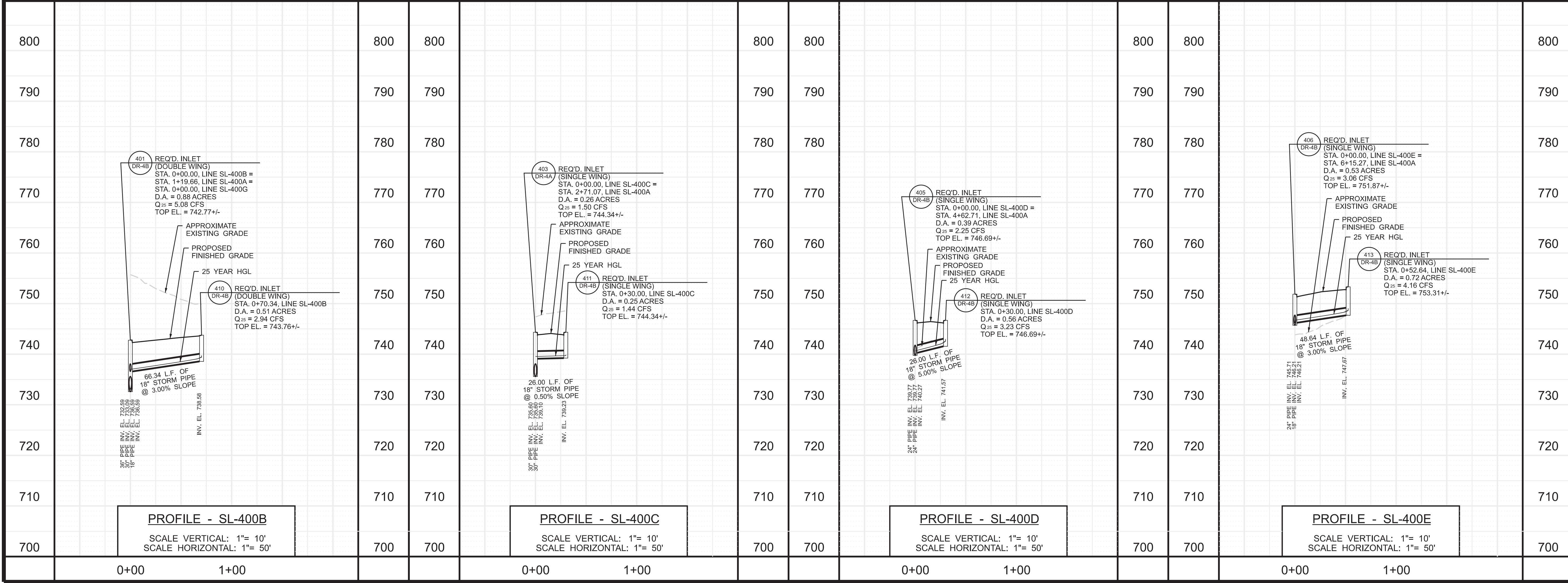
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PLAN - SL-400B, SL-400C, SL-400D, AND SL-400E
SCALE: 1" = 50'

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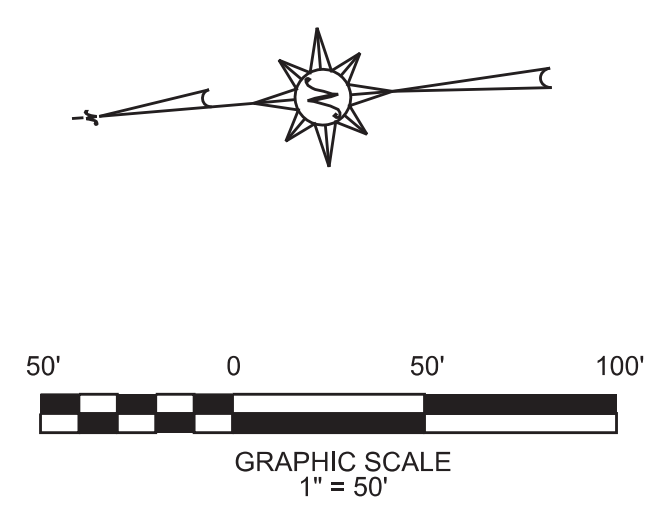
1/18/23

THIS SHEET CONTAINS:
DRAINAGE PLAN AND PROFILES -
LINES SL-400B,
SL-400C, SL-400D,
AND SL-400E

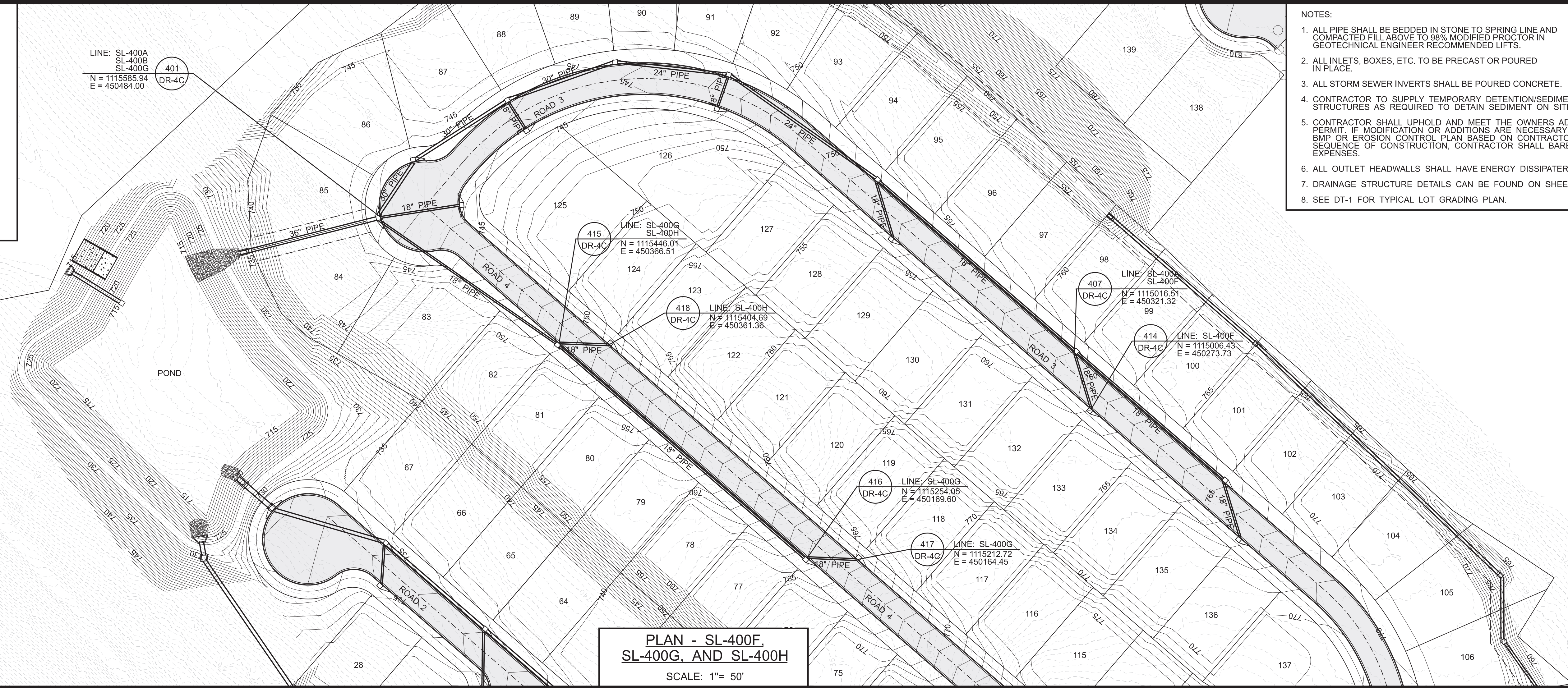
SCALE: 1" = 50'
SHEET 29 OF 44

DR-4B

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LINE: SL-400A
SL-400B
SL-400G
N = 1115585.94
E = 450484.00
401
DR-4C



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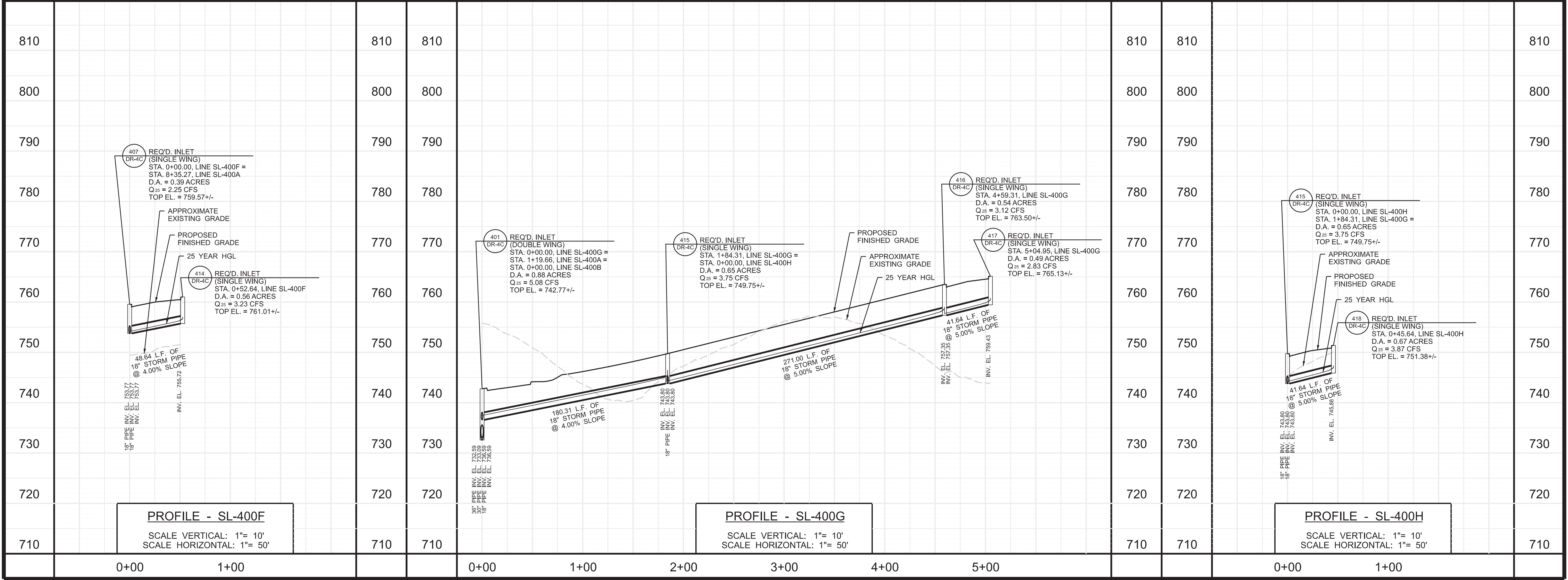
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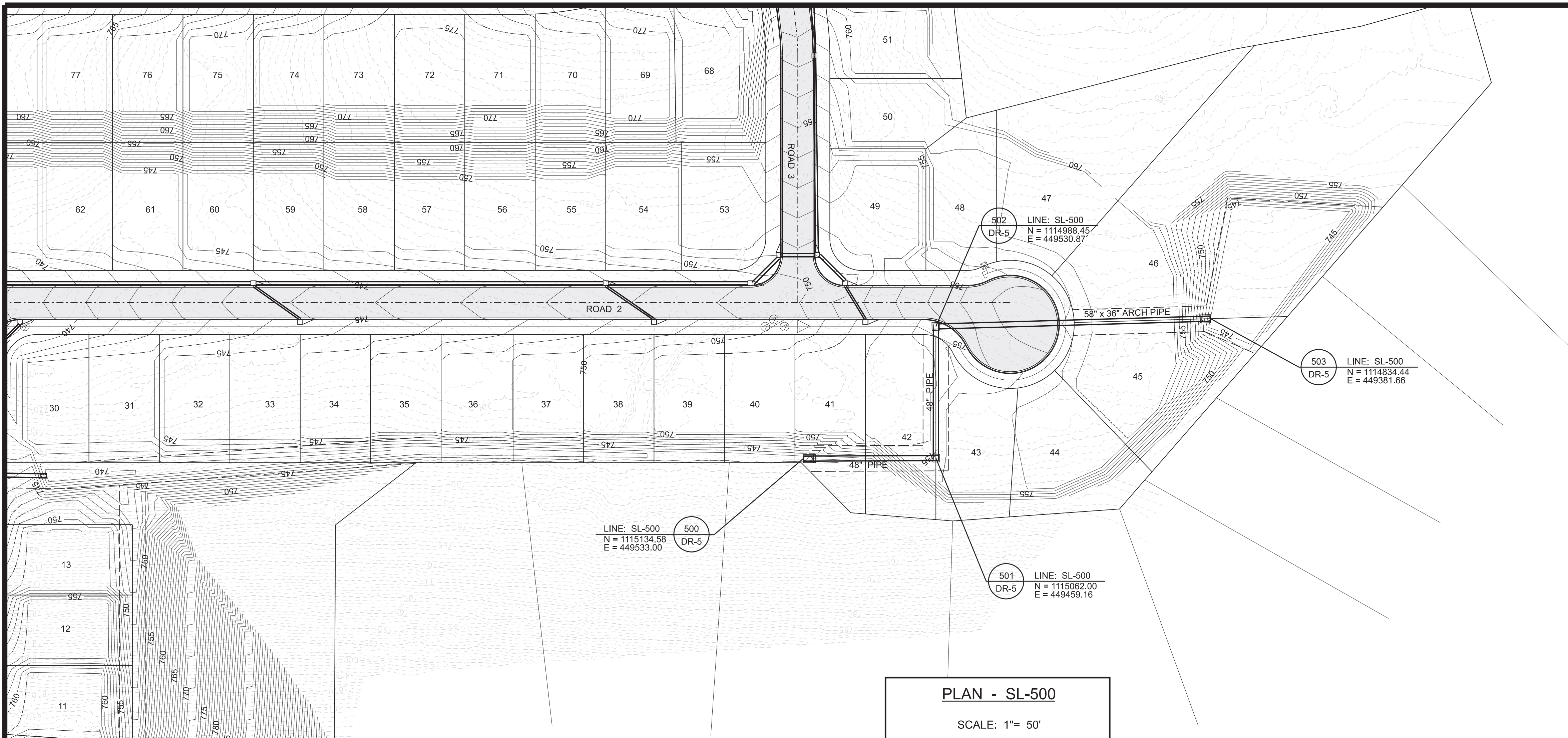
REGISTERED PROFESSIONAL ENGINEER
JAMES M. CASIDY
1/18/23

THIS SHEET CONTAINS:
DRAINAGE PLAN AND PROFILES -
LINES SL-400F,
SL-400G, AND
SL-400H

SCALE: 1" = 50'
SHEET 30 OF 44

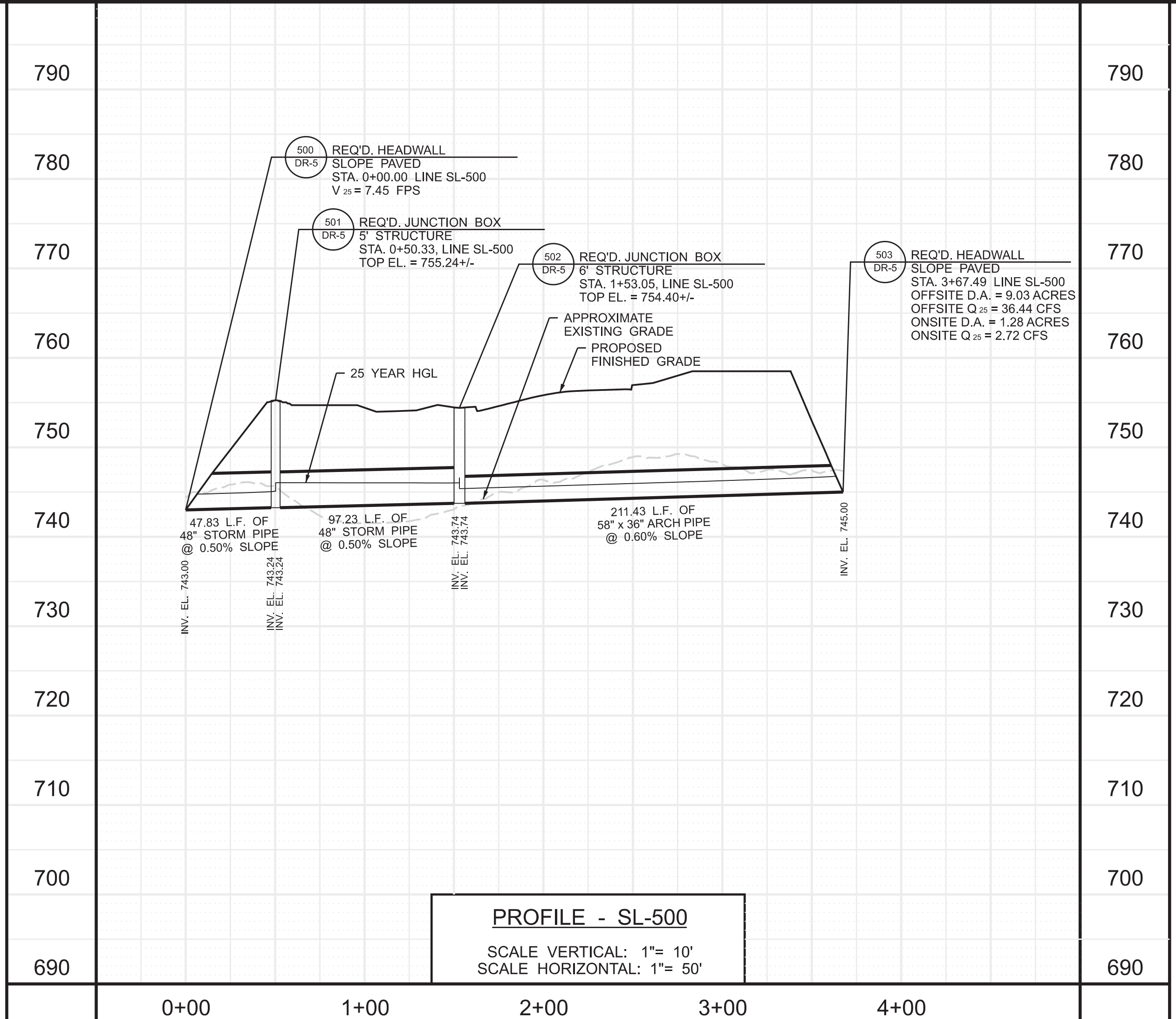
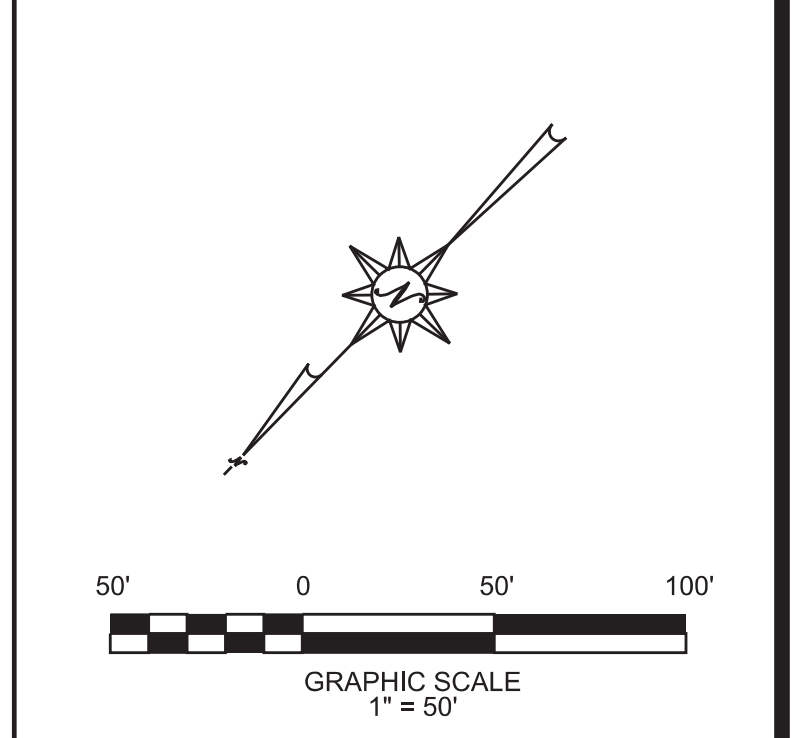
DR-4C

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PLAN - SL-500
SCALE: 1" = 50'

- NOTES:
1. ALL PIPE SHALL BE BEDDED IN STONE TO SPRING LINE AND COMPACTED FILL ABOVE TO 98% MODIFIED PROCTOR IN GEOTECHNICAL ENGINEER RECOMMENDED LIFTS.
 2. ALL INLETS, BOXES, ETC. TO BE PRECAST OR POURED IN PLACE.
 3. ALL STORM SEWER INVERTS SHALL BE POURED CONCRETE.
 4. CONTRACTOR TO SUPPLY TEMPORARY DETENTION/SEDIMENTATION STRUCTURES AS REQUIRED TO DETAIN SEDIMENT ON SITE.
 5. CONTRACTOR SHALL UPHOLD AND MEET THE OWNERS ADEM PERMIT. IF MODIFICATION OR ADDITIONS ARE NECESSARY TO THE BMP OR EROSION CONTROL PLAN BASED ON CONTRACTOR'S SEQUENCE OF CONSTRUCTION, CONTRACTOR SHALL BARE ALL EXPENSES.
 6. ALL OUTLET HEADWALLS SHALL HAVE ENERGY DISSIPATORS
 7. DRAINAGE STRUCTURE DETAILS CAN BE FOUND ON SHEET DT-2.
 8. SEE DT-1 FOR TYPICAL LOT GRADING PLAN.



PROFILE - SL-500
SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

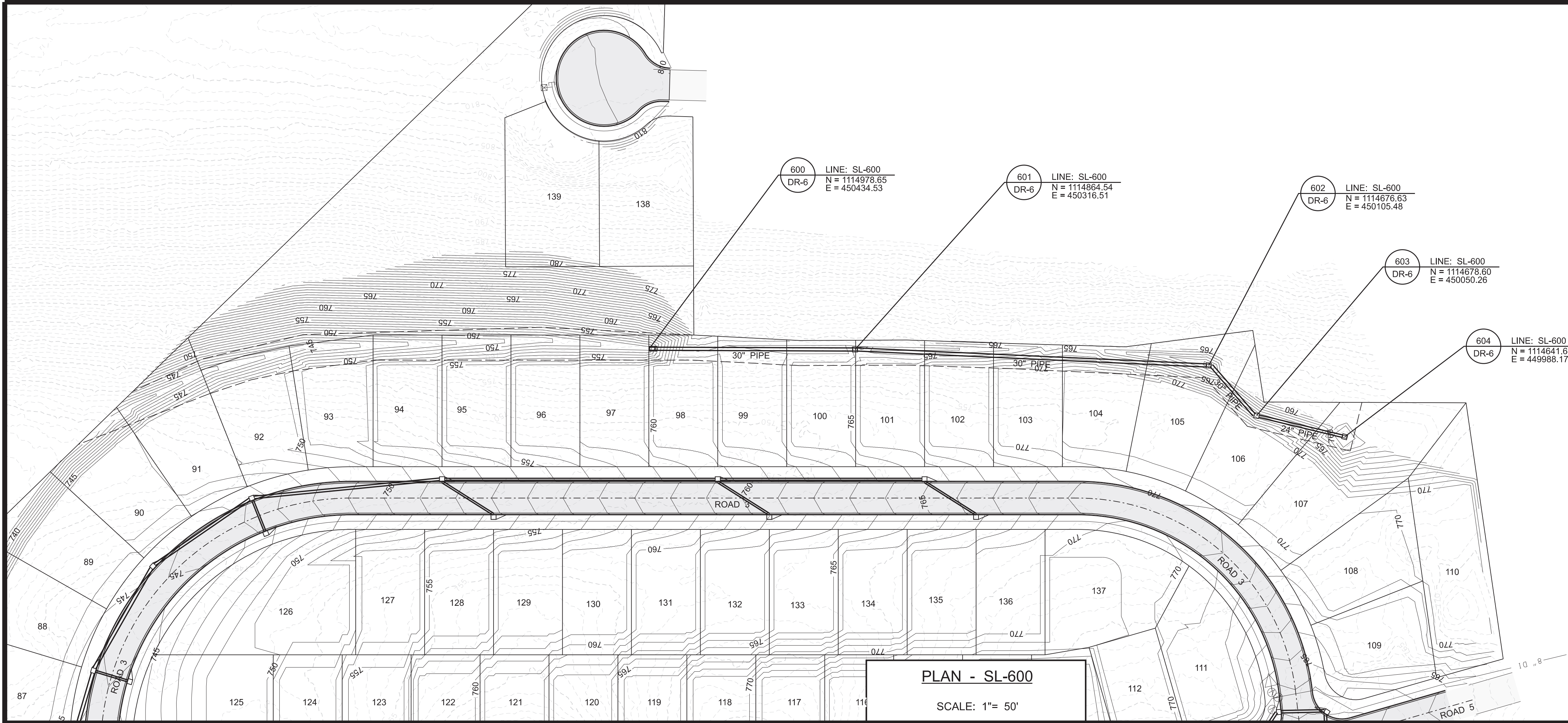
ENGINEER
JAMES M. CASSIDY
1/18/23

THIS SHEET CONTAINS:
DRAINAGE PLAN
AND PROFILE
LINE - SL-500

SCALE: 1" = 50'
SHEET 31 OF 44

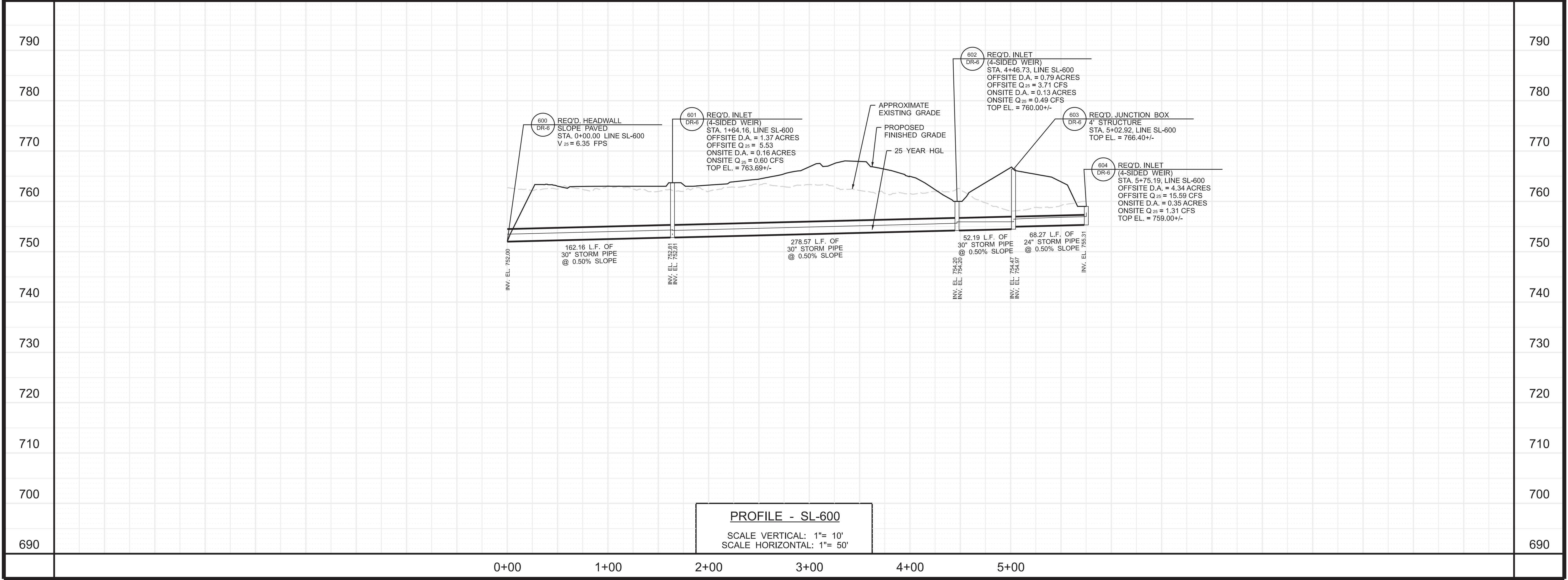
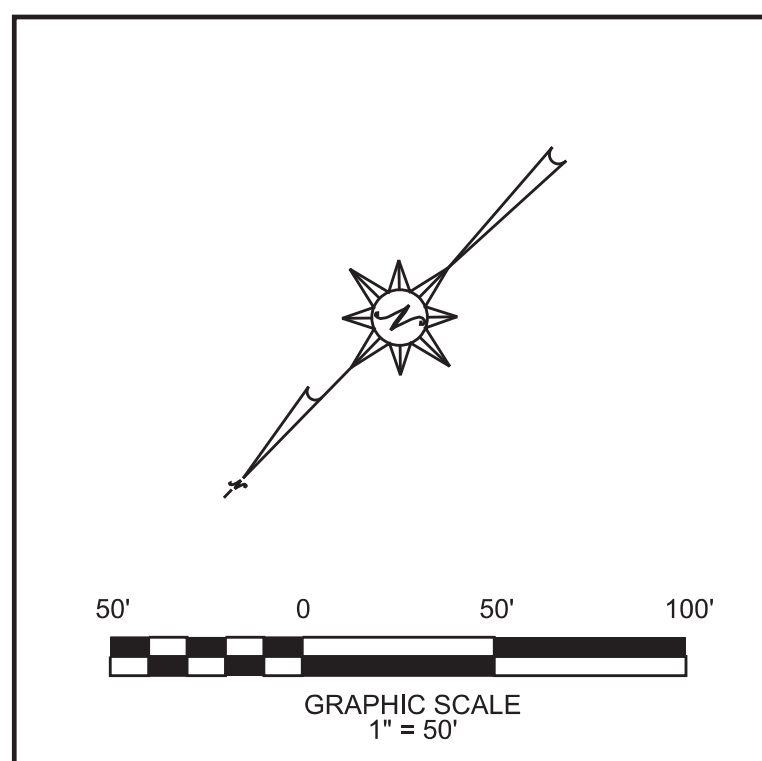
DR-5

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PLAN - SL-600
SCALE: 1" = 50'

- NOTES:
1. ALL PIPE SHALL BE BEDDED IN STONE TO SPRING LINE AND COMPACTED FILL ABOVE TO 98% MODIFIED PROCTOR IN GEOTECHNICAL ENGINEER RECOMMENDED LIFTS.
 2. ALL INLETS, BOXES, ETC. TO BE PRECAST OR POURED IN PLACE.
 3. ALL STORM SEWER INVERTS SHALL BE POURED CONCRETE.
 4. CONTRACTOR TO SUPPLY TEMPORARY DETENTION/SEDIMENTATION STRUCTURES AS REQUIRED TO DETAIN SEDIMENT ON SITE.
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 6. ALL OUTLET HEADWALLS SHALL HAVE ENERGY DISSIPATORS
 7. DRAINAGE STRUCTURE DETAILS CAN BE FOUND ON SHEET DT-2.
 8. SEE DT-1 FOR TYPICAL LOT GRADING PLAN.



PROFILE - SL-600
SCALE VERTICAL: 1" = 10'
SCALE HORIZONTAL: 1" = 50'

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CONSTRUCTION PLANS FOR:

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LEEDS, ALABAMA

PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

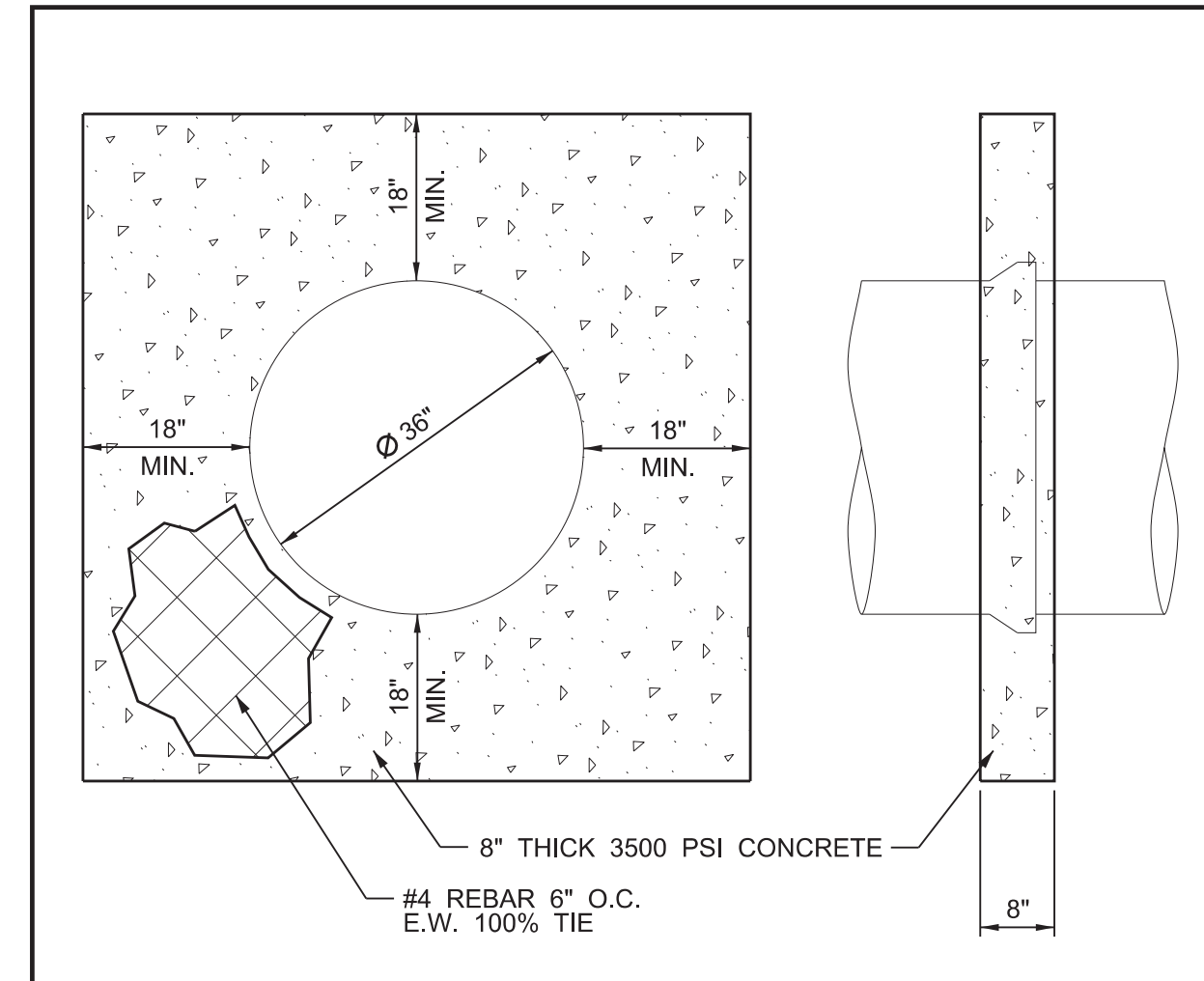
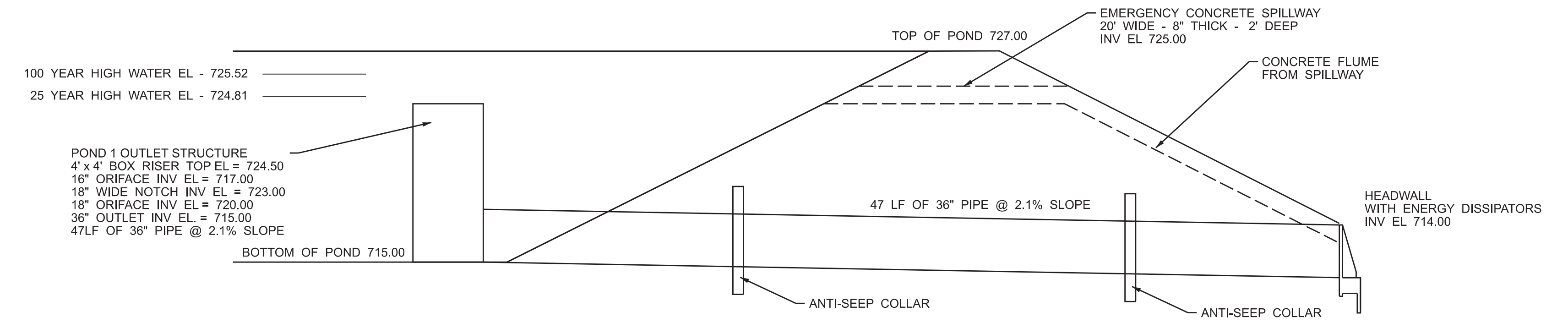
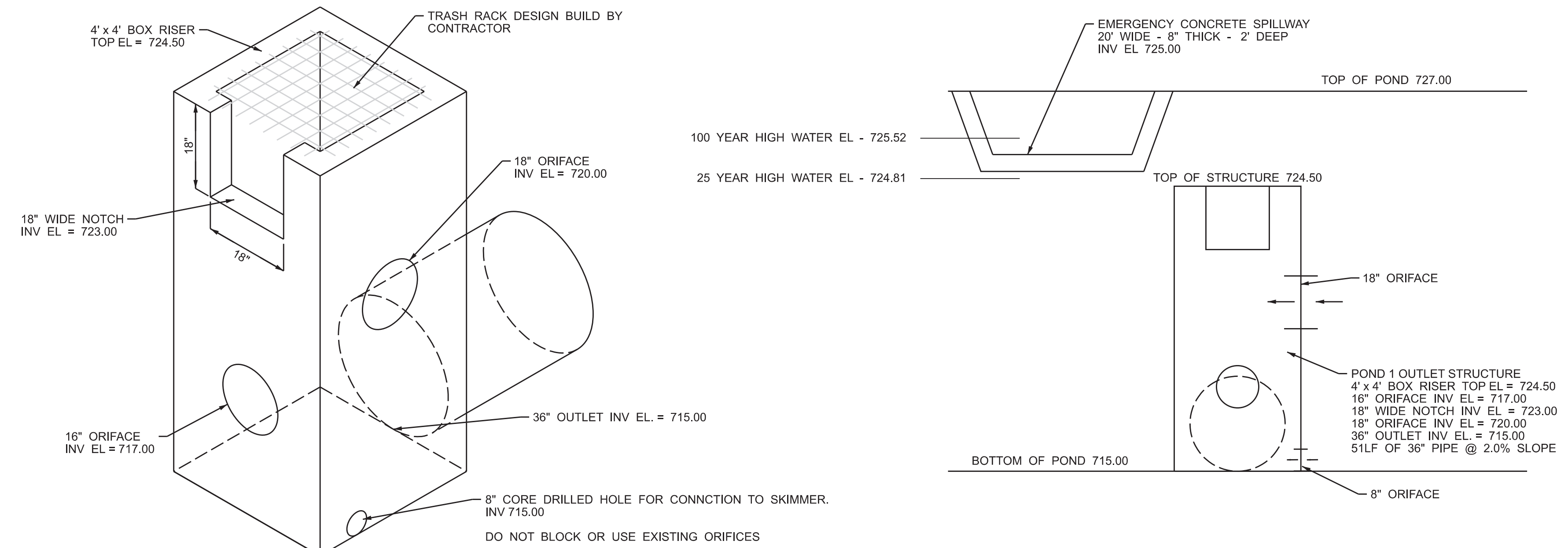
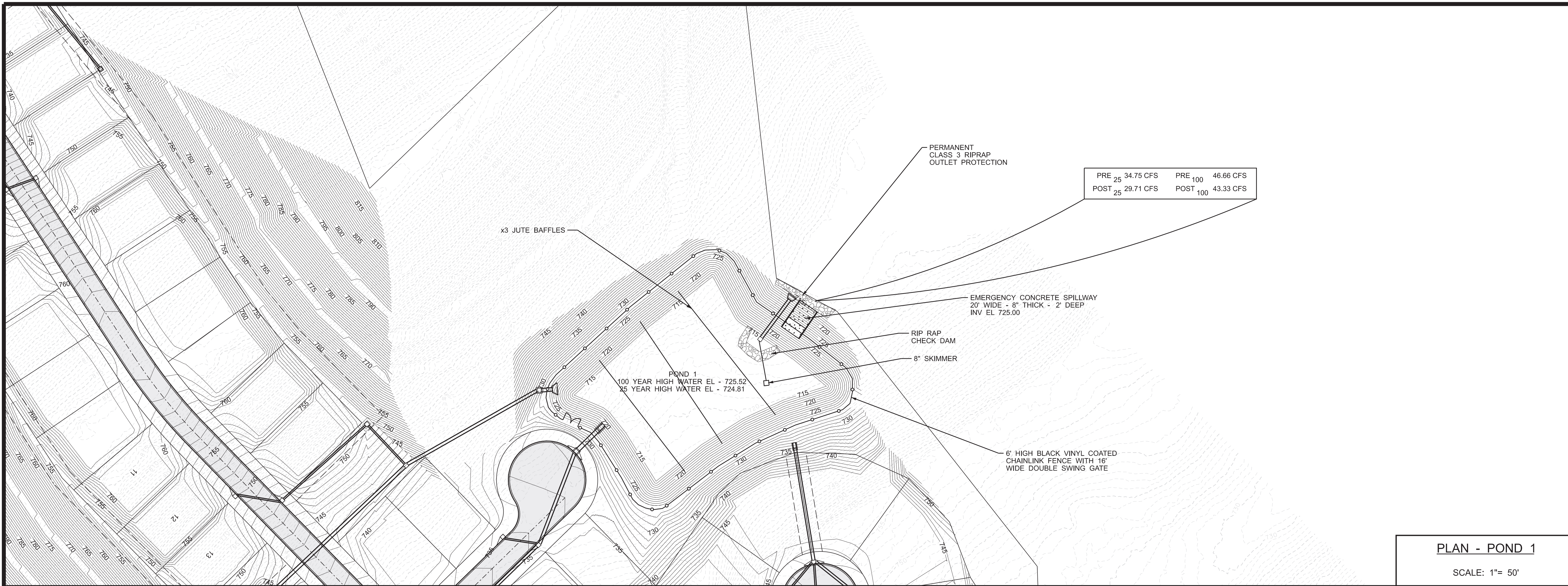
ENGINEER
JAMES M. CASIDY
1/18/23

THIS SHEET CONTAINS:
DRAINAGE PLAN
AND PROFILE
LINE - SL-600

SCALE: 1" = 50'
SHEET 32 OF 44

DR-6

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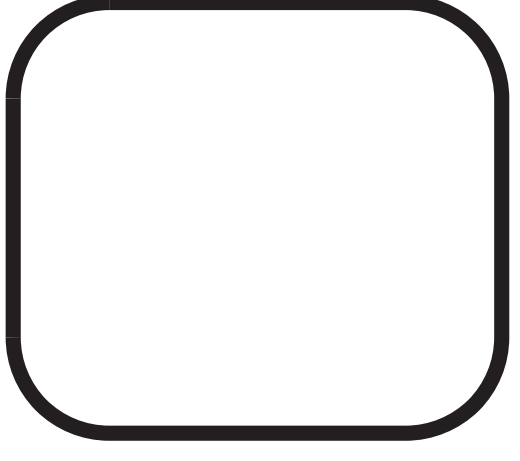
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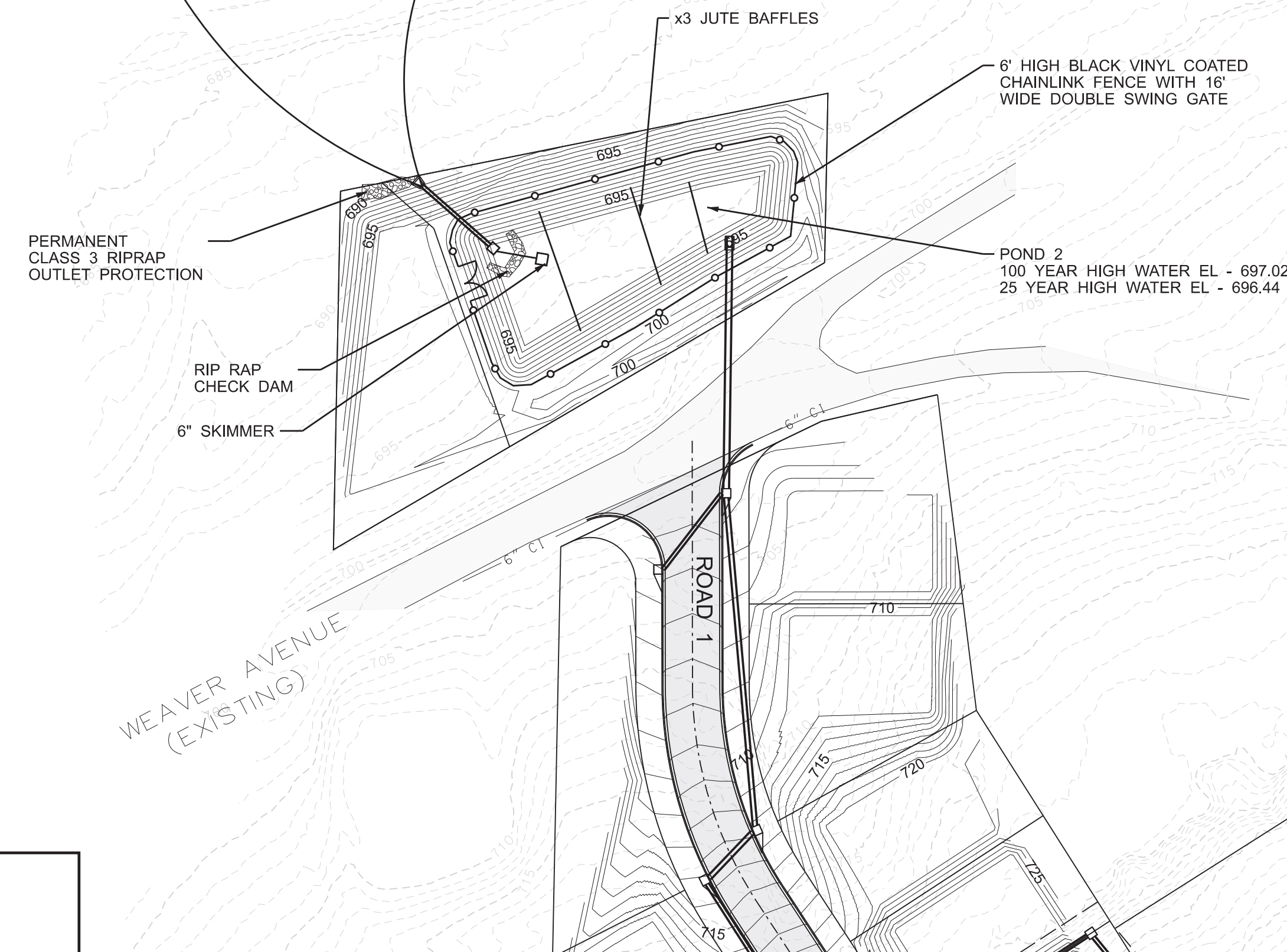
THIS SHEET CONTAINS:
POND OUTLET PLAN
AND DETAILS -
POND 1

SCALE: AS NOTED
SHEET 33 OF 44

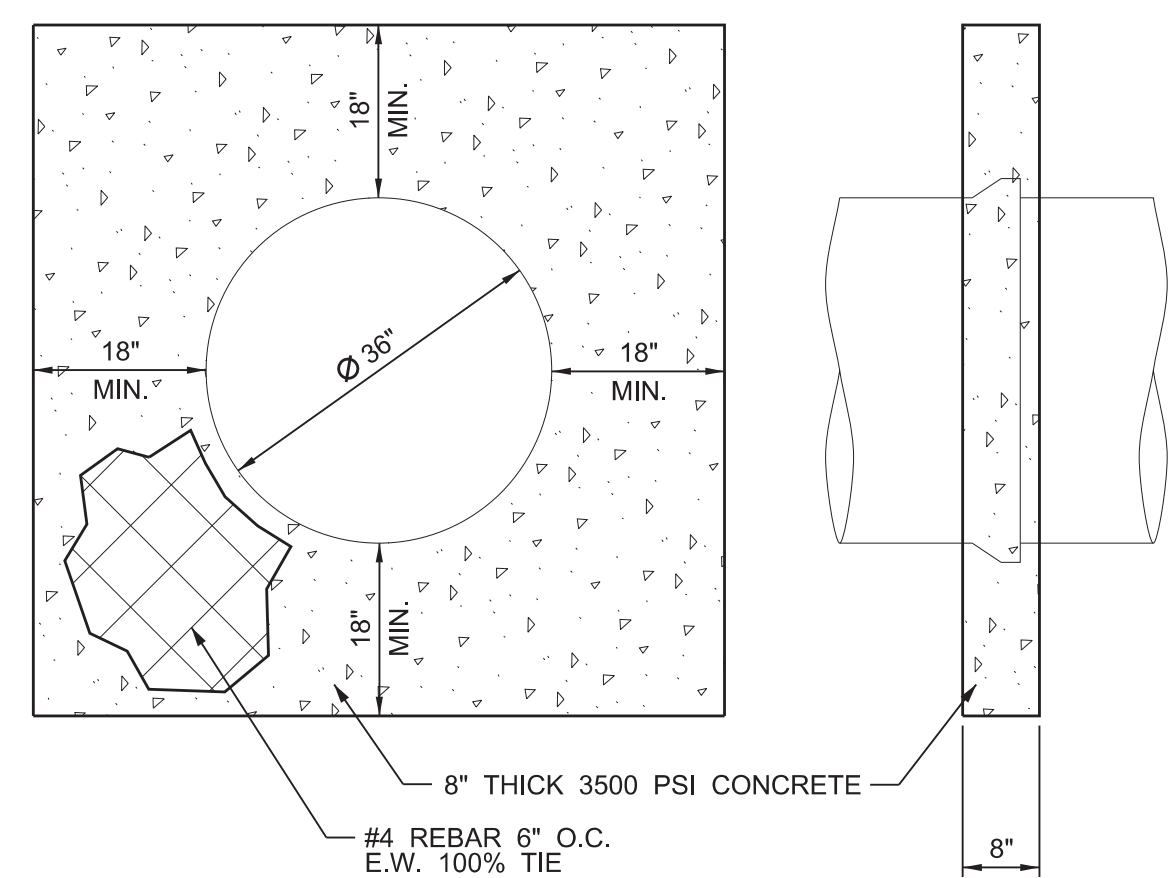
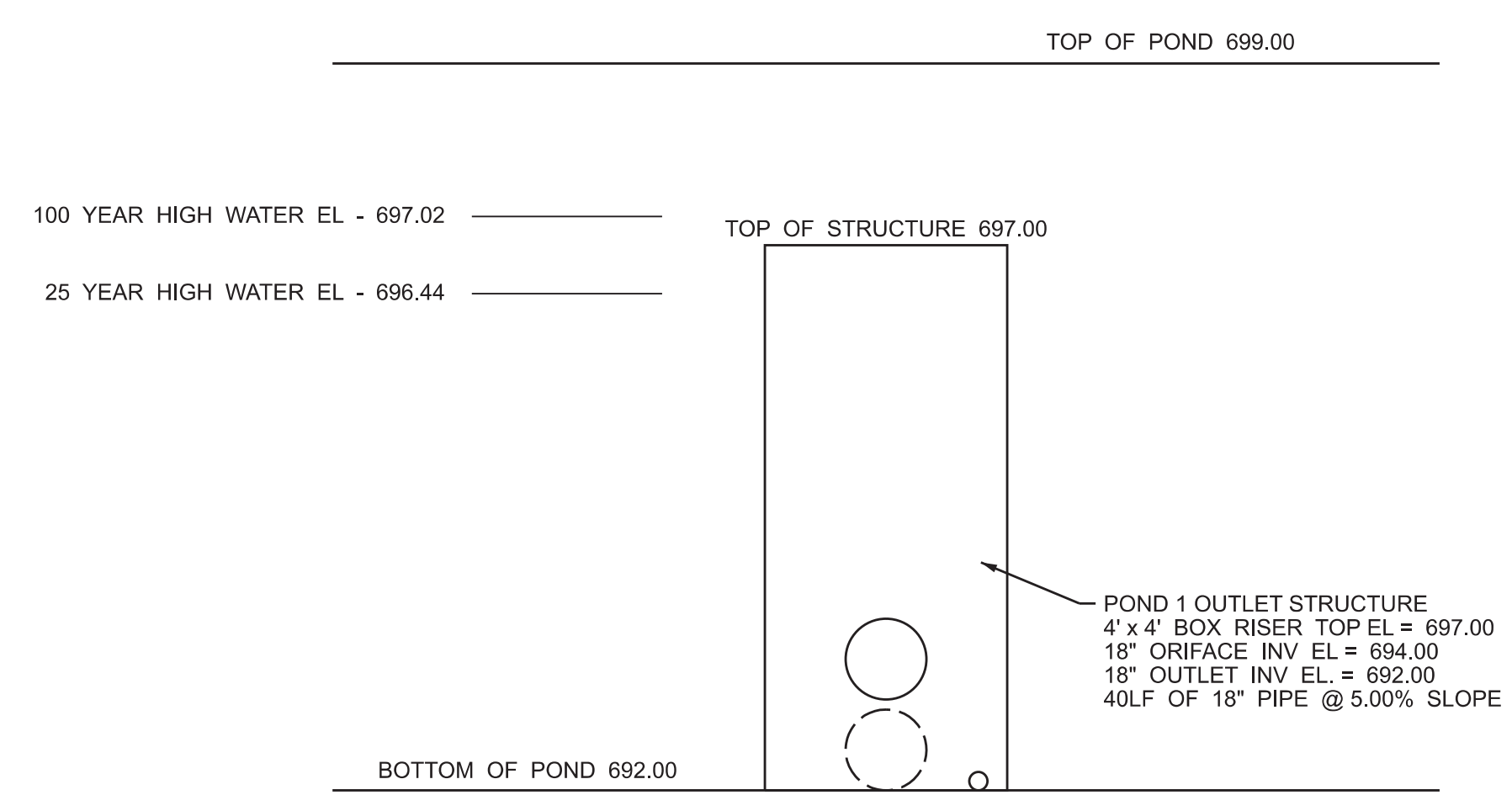
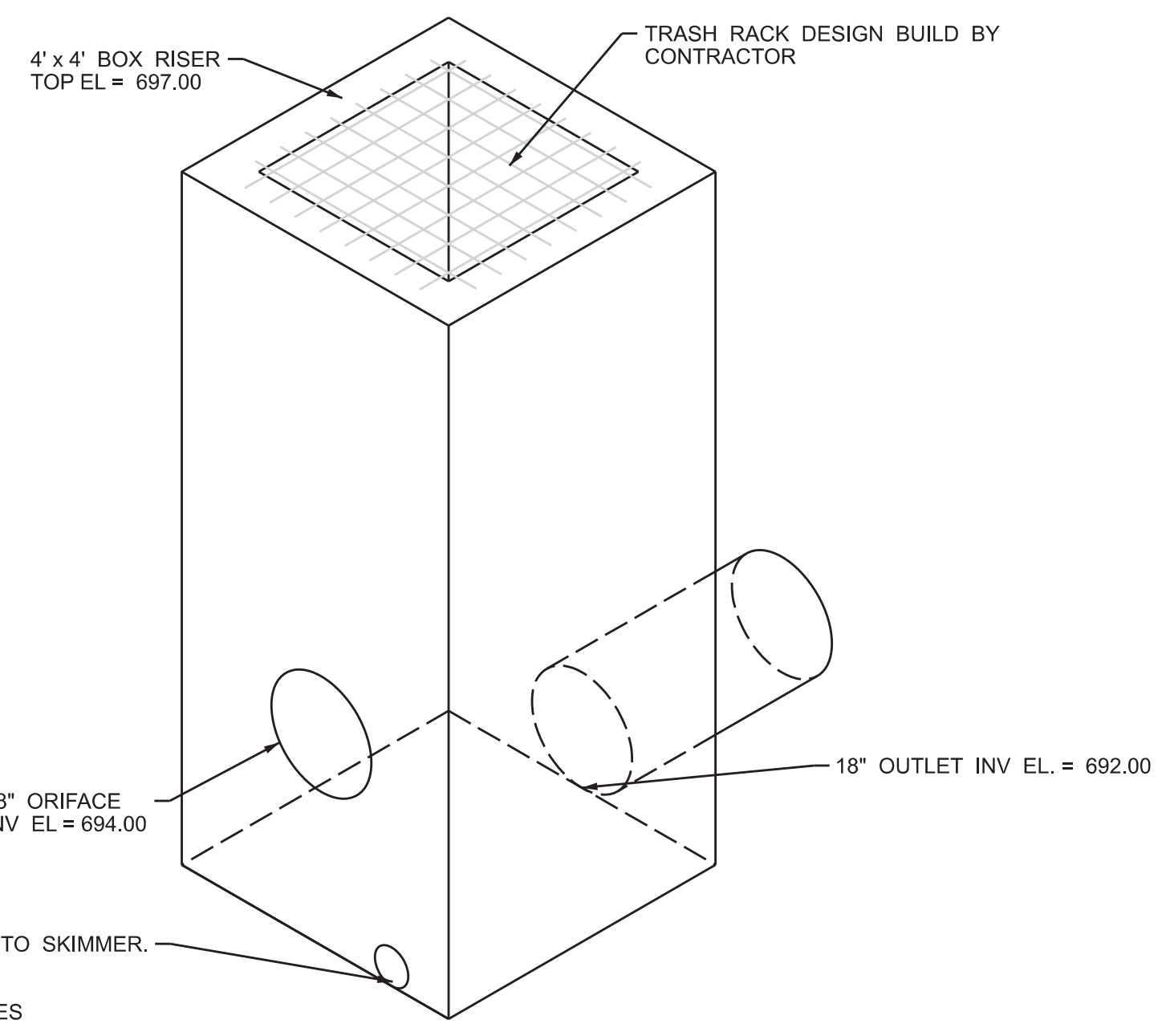
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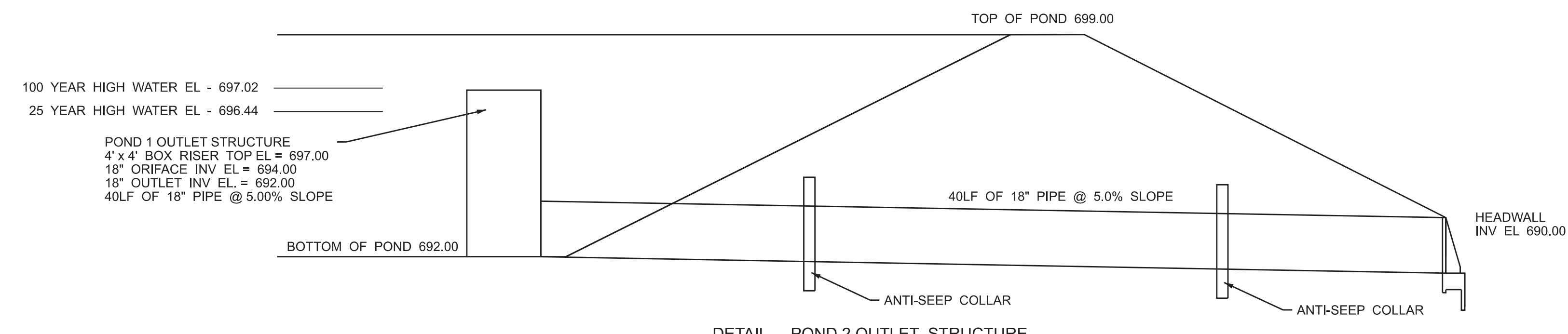
PRE 25	28.07 CFS	PRE 100	37.22 CFS
POST 25	22.49 CFS	POST 100	28.07 CFS



PLAN - POND 2
SCALE: 1" = 50'



DETAIL - ANTI - SEEP COLLAR
SCALE: NONE



DETAIL - POND 2 OUTLET STRUCTURE

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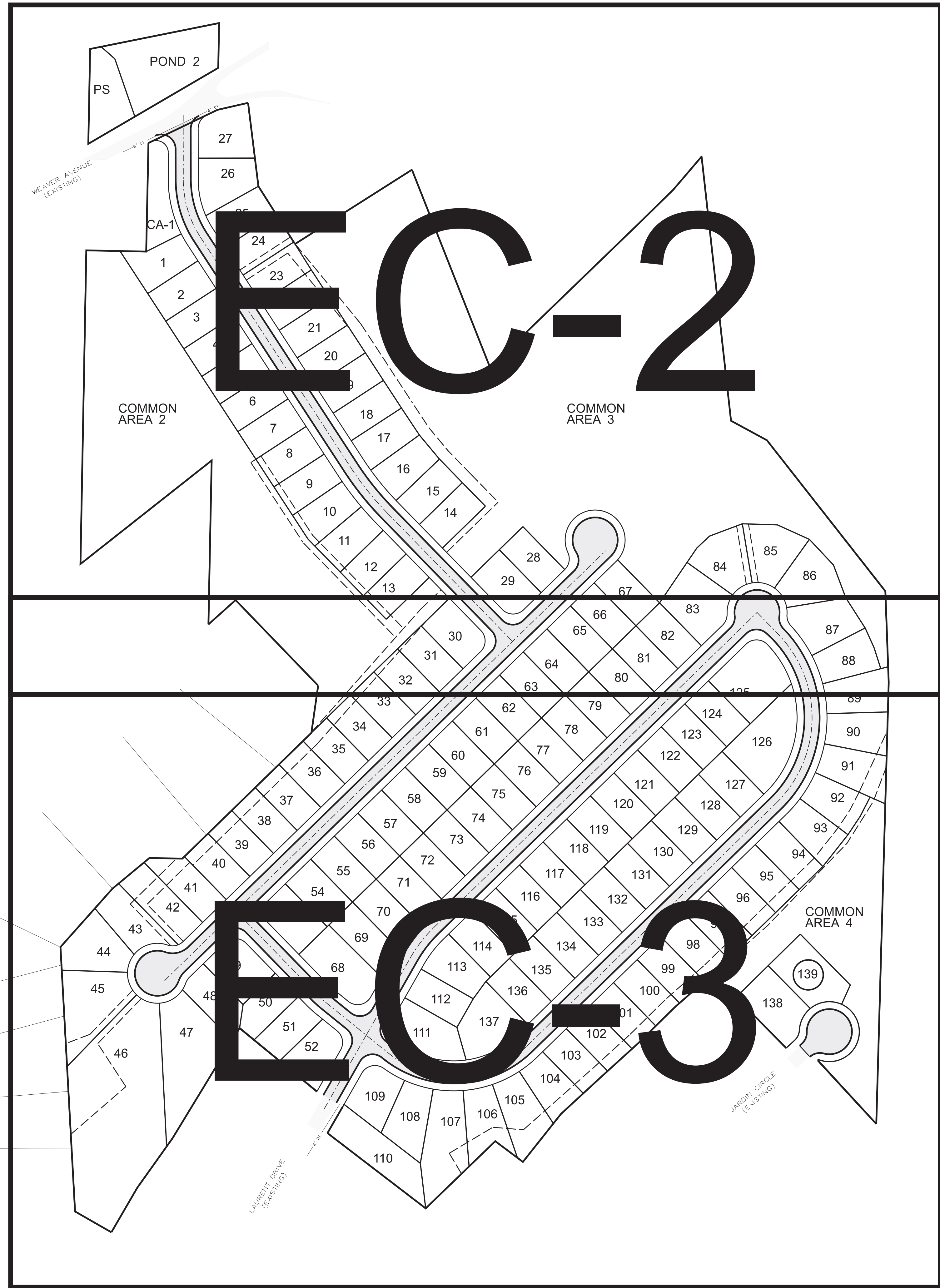
REGISTERED PROFESSIONAL ENGINEER
JAMES M. CASIDY
1/18/23

THIS SHEET CONTAINS:
POND OUTLET PLAN
AND DETAILS -
POND 2

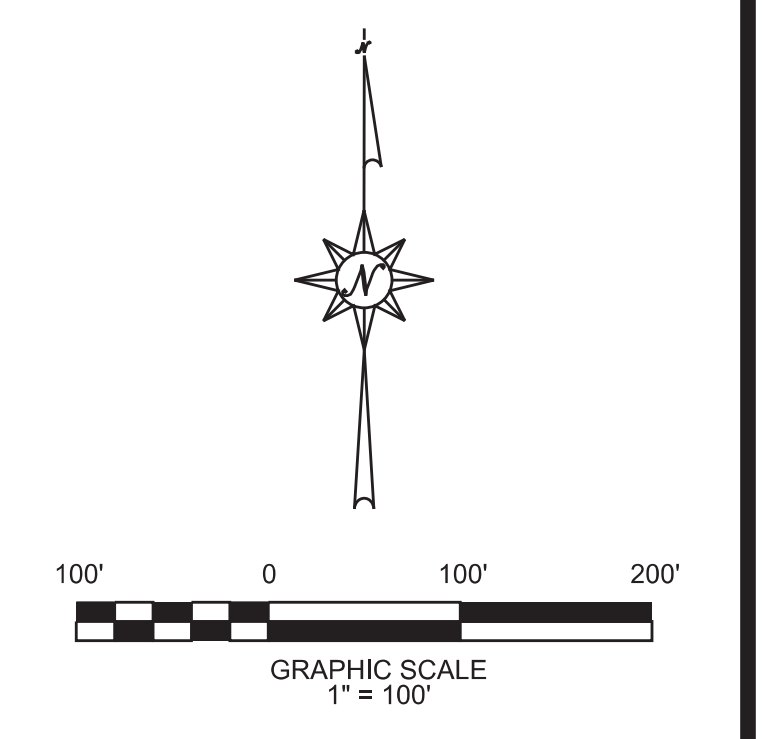
SCALE: AS NOTED
SHEET 34 OF 44

PO-2

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1. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE JOB SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 2. ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF EXPOSED SOIL AT ANY ONE TIME.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS ARE FURNISHED TO THE OWNER.
 5. THE CONTRACTOR IS TO INSTALL ALL EROSION CONTROL DEVICES BEFORE ANY CONSTRUCTION BEGINS. SUCH DEVICES SHALL BE INSPECTED AFTER EVERY 0.50" RAINFALL AND BE REPAIRED AND MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETED.
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 9. ALL EROSION CONTROL ACTIVITIES SHALL COMPLY WITH THE MOST RECENT EDITION OF THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORM WATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS.
 10. ALL SLOPES GREATER THAN 6' VERTICAL SHALL HAVE SUNSHINE SC-150 (OR APPROVED EQUAL) MATTING WHEN INSTALLED.
 11. ALL EROSION CONTROL SHALL REMAIN IN PLACE AND BE TRANSFERRED TO BUILDER.
 12. SEE GN-3 FOR EROSION CONTROL SEQUENCE, EROSION CONTROL PLAN AND PERFORMANCE STANDARDS, AND EROSION CONTROL NOTES



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PROJECT INFO:
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 PLOTTED: 1/18/23

THIS SHEET CONTAINS:
 EROSION CONTROL
 PLAN SHEET INDEX

SCALE: 1"= 100'
 SHEET 35 OF 44

EC-1

PERMANENT CLASS 3 RIPRAP OUTLET PROTECTION
 2' HIGH RIP RAP CHECK DAM
 3x JUTE BAFFLES
 SILT FENCE (TYP.)
 CL. 2 RIP RAP OUTLET PROTECTION

6" SKIMMER

WEAVER AVENUE (EXISTING)
 CONSTRUCTION ENTRANCE AND WASH OUT

INLET PROTECTION (TYP.)

DOUBLE ROW SILT FENCE (TYP.)

LARGE SLOPES TO BE PLANTED WITH EVERGREEN TREE SAPLINGS 10' ON CENTER STAGGERED ROWS

SLOPE DRAINS ALONG BENCHES

WATTLE DITCH CHECK 50' O.C. (TYP.)

WATTLE DITCH CHECK 50' O.C. (TYP.)

LARGE SLOPES TO BE PLANTED WITH EVERGREEN TREE SAPLINGS 10' ON CENTER STAGGERED ROWS

SLOPE DRAINS ALONG BENCHES

DOUBLE ROW SILT FENCE (TYP.)

INLET PROTECTION (TYP.)

PERMANENT CLASS 3 RIPRAP OUTLET PROTECTION
 4x JUTE BAFFLES

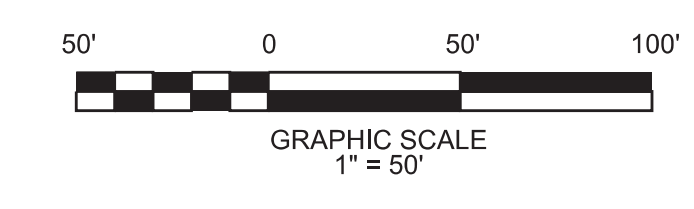
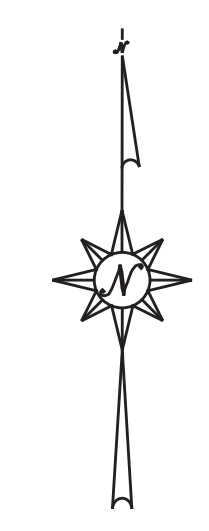
RIP RAP CHECK DAM

8" SKIMMER

LARGE SLOPES TO BE PLANTED WITH EVERGREEN TREE SAPLINGS 10' ON CENTER STAGGERED ROWS

DRAINAGE SUMP EXCAVATION

LARGE RIP RAP OUTLET PROTECTION (CLASS 2 AND 3 MIX)



EROSION CONTROL NOTES:

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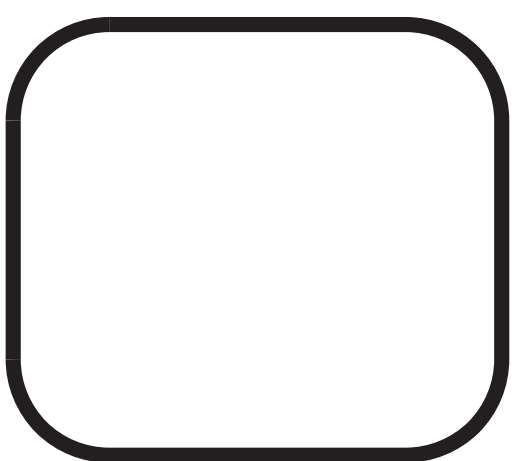
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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA



PROJECT INFO:
 INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

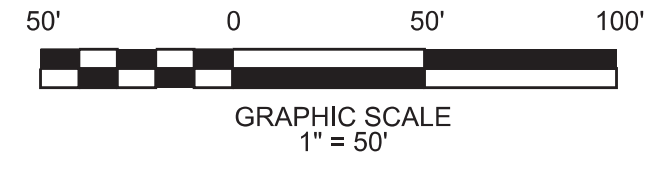
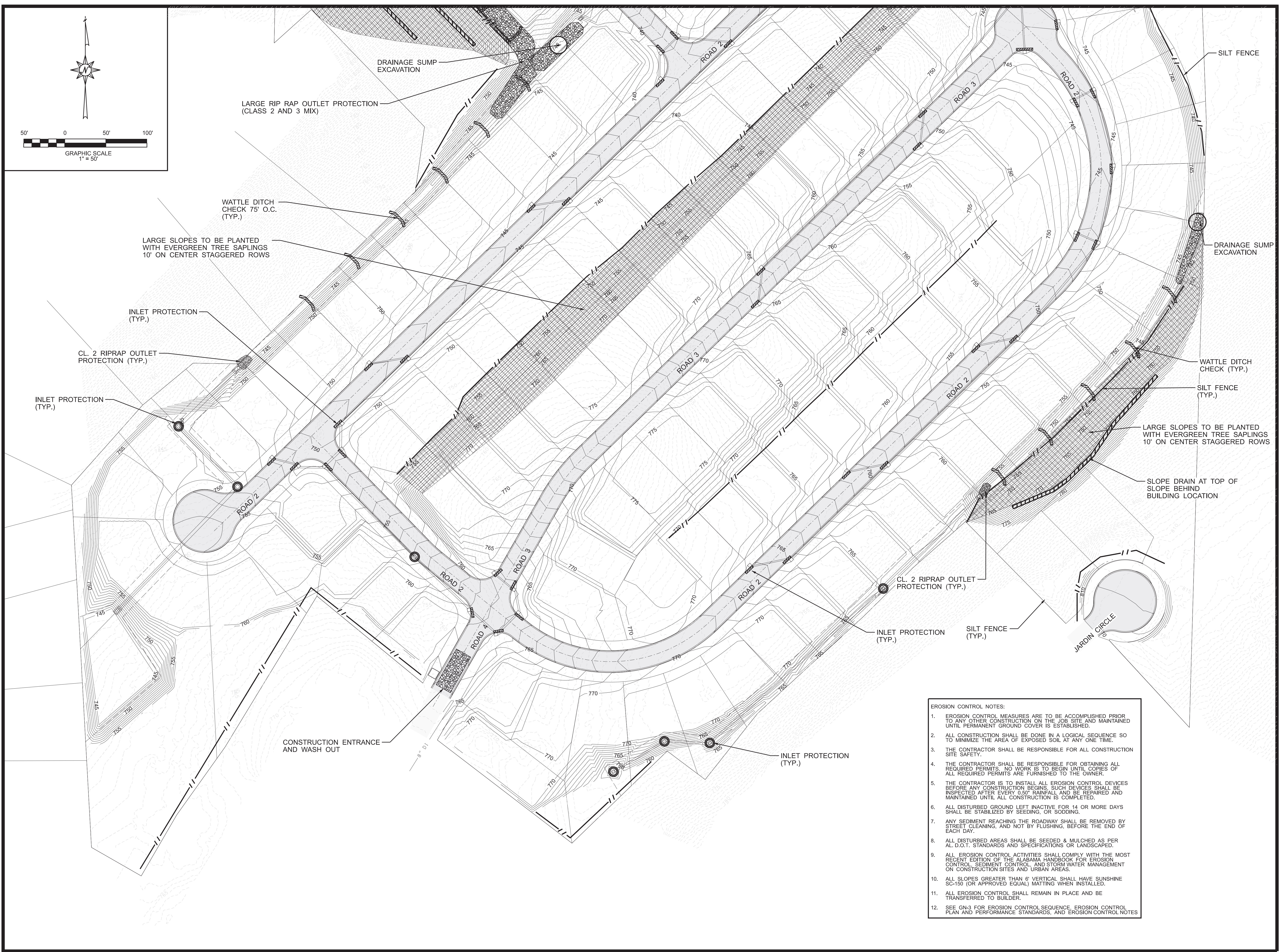
ENGINEER
 JAMES M. CASSIDY
 1/18/23

THIS SHEET CONTAINS:
 EROSION CONTROL PLAN

SCALE: 1" = 50'
 SHEET 36 OF 44

EC-2

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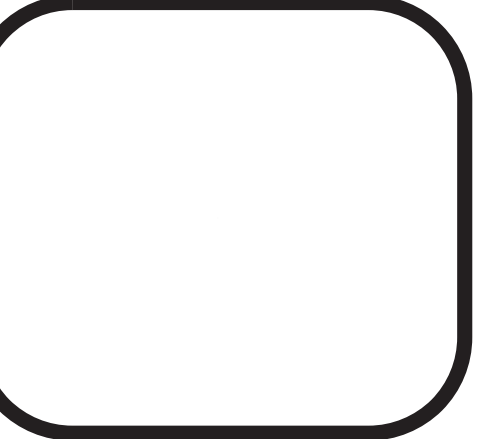
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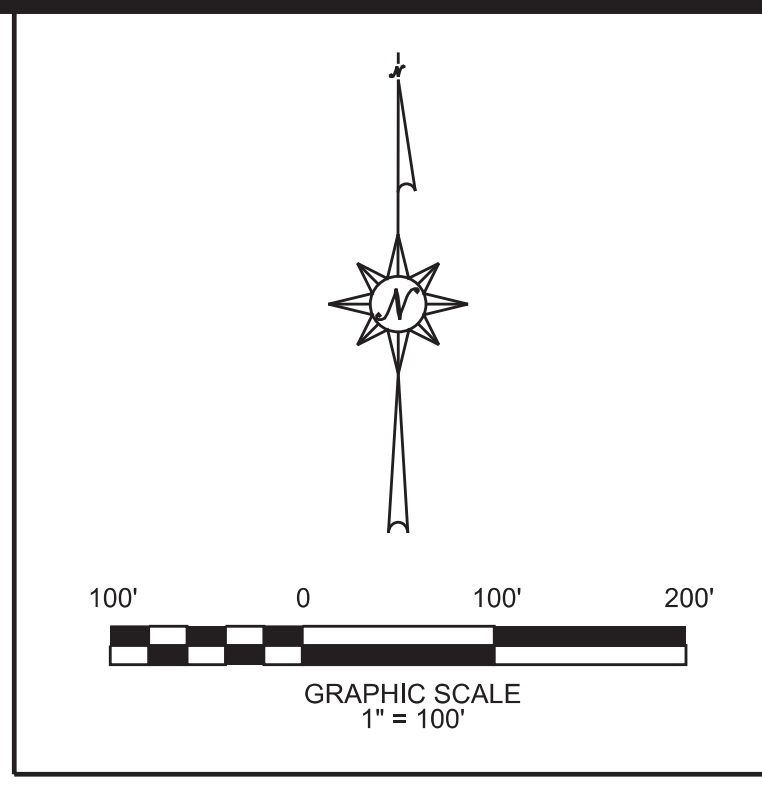
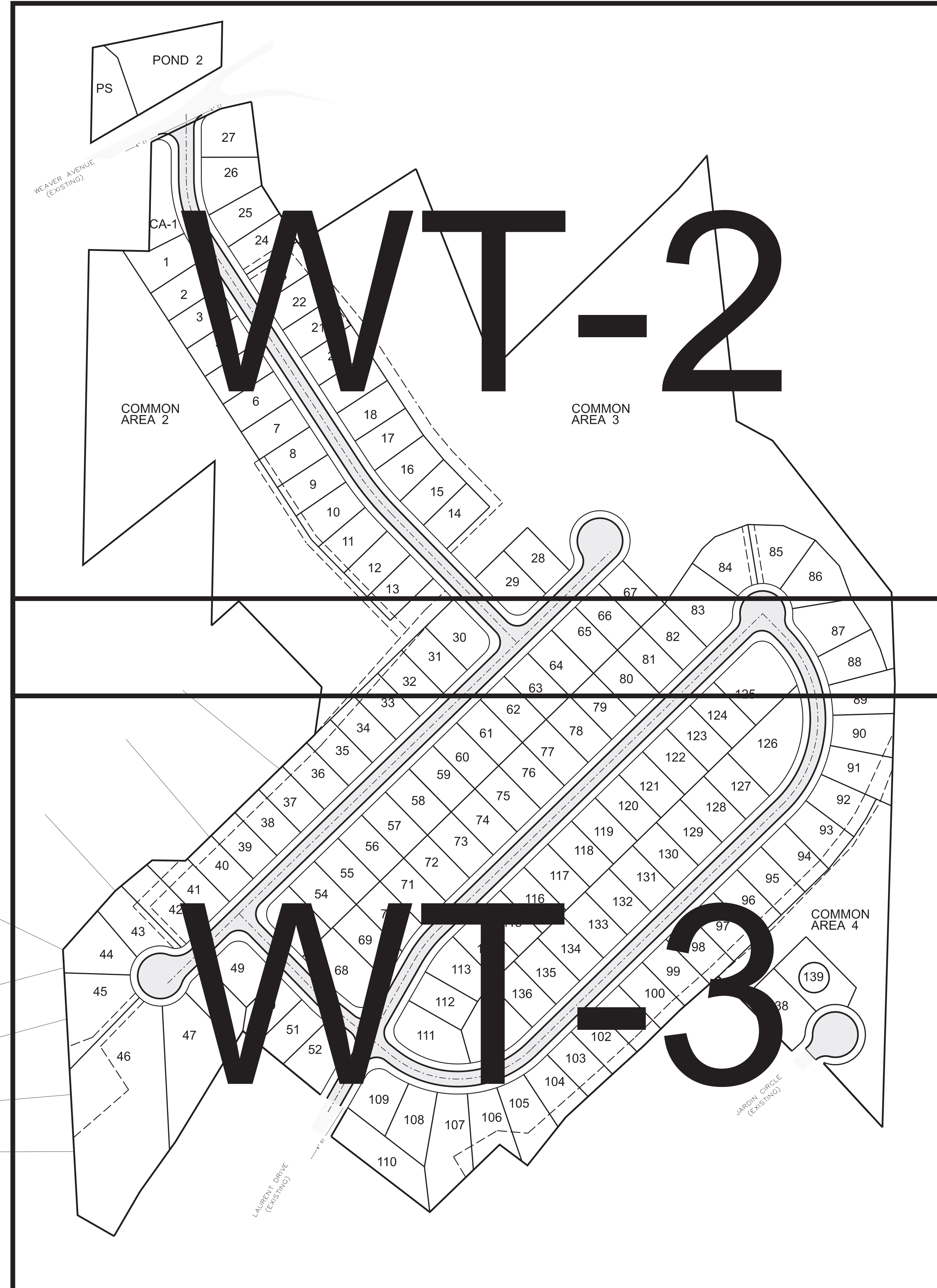
PROJECT INFO:
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 PLOTTED: 1/18/23

THIS SHEET CONTAINS:
EROSION CONTROL PLAN

SCALE: 1"= 50'
 SHEET 37 OF 44
EC-3

- EROSION CONTROL NOTES:**
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 - ALL SLOPES GREATER THAN 6' VERTICAL SHALL HAVE SUNSHINE SC-150 (OR APPROVED EQUAL) MATTING WHEN INSTALLED.
 - ALL EROSION CONTROL SHALL REMAIN IN PLACE AND BE TRANSFERRED TO BUILDER.
 - SEE GN-3 FOR EROSION CONTROL SEQUENCE, EROSION CONTROL PLAN AND PERFORMANCE STANDARDS, AND EROSION CONTROL NOTES

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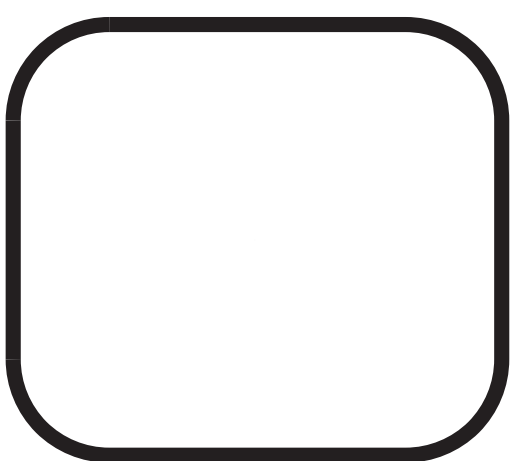
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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA



PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

ALABAMA REGISTERED PROFESSIONAL ENGINEER
No. 22577
JAMES M. CASIDY
1/18/23

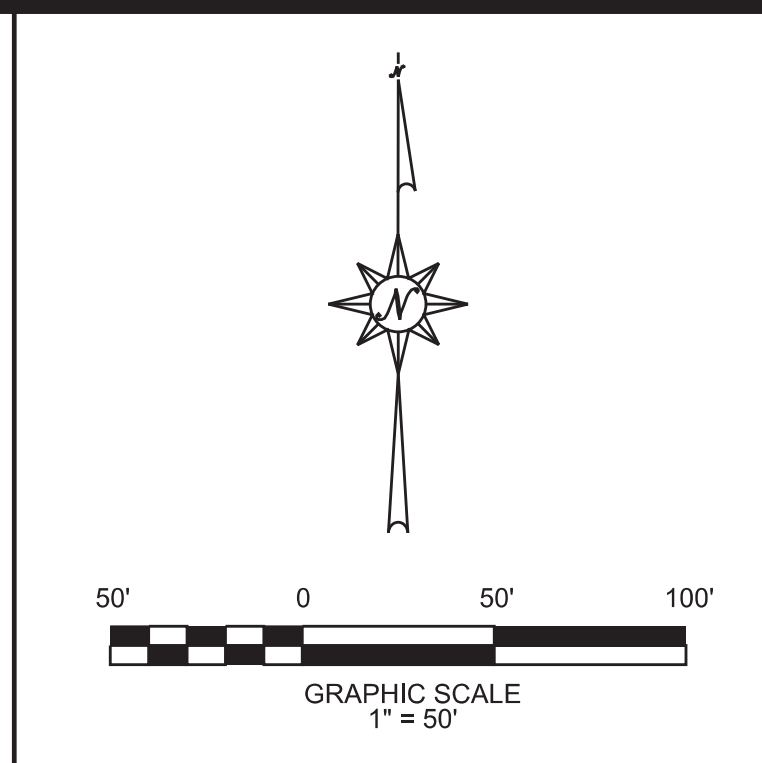
THIS SHEET CONTAINS:
WATER LINE PLAN
SHEET INDEX

SCALE: 1" = 100'
SHEET 38 OF 44

WT-1

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- NOTES:
1. ALL WORK ON POTABLE WATER LINE SHALL CONFORM TO LWWB GUIDELINES.
 2. CONTRACTOR TO NOTIFY LWWB 48 HOURS PRIOR TO CONSTRUCTION OF THE POTABLE WATER SYSTEM.
 3. LWWB SHALL INSPECT ALL WATER LINES, TEES, BENDS, VALVES, CONNECTIONS TO EXISTING SYSTEM, ETC PRIOR TO COVERING. IF THE LINE IS NOT INSPECTED PRIOR TO BURIAL THE WATER LINE SHALL BE UNCOVERED AT THE CONTRACTORS EXPENSE FOR LWWB TO PROPERLY INSPECT THE WATER LINE.
 4. DEVELOPER SHALL PURCHASE ALL METER BOXES / METERS. DELIVER THE BOXES TO LWWB. LWWB SHALL INSTALL METER BOX AT TIME OF CONSTRUCTION OF HOUSE.
 5. WATER SERVICE SHALL BE STUBBED OUT TO LOT PRIOR TO INSTALLATION OF METER BOX BY LWWB.
 6. WATER SERVICES SHALL BE 1" MUNICIPEX. NO "SHARKBITE" TYPE FITTINGS ARE PERMITTED.
 7. ELECTRIC TRANSFORMERS TO BE LOCATED ON ALTERNATE LOT CORNER FROM WATER AND GAS SERVICES.
 8. POWER SHALL BE INSTALLED UNDERGROUND WITH 6" MINIMUM SEPARATION FROM WATER LINE COORDINATED WITH ALABAMA POWER AND LWWB PRIOR TO INSTALLATION.
 9. ALL WATER LINES SHALL BE INSTALLED 3' OFF OF BACK OF CURB.
 10. WATER PIPE SHALL BE DUCTILE IRON.
 11. SERVICE TAPS ON THE WATER MAIN SHALL HAVE A MINIMUM SEPARATION OF 2'
 12. ALL LONG SIDE SERVICES AND SERVICES PASSING UNDER SIDEWALKS AND DRIVEWAYS SHALL BE SLEEVED/ENCASED IN 2" PVC CASING PIPE.
 13. NO WATER LINES, VALVES, METERS, OR FIRE HYDRANTS SHALL BE CONSTRUCTED WITHIN SIDEWALKS OR DRIVEWAYS.
 14. FIRE HYDRANTS SHALL BE M&H OR PRE APPROVED EQUIVALENT.
 15. ALL METER BOXES SHALL BE CARSON INVERTED METER BOXES PER LWWB.



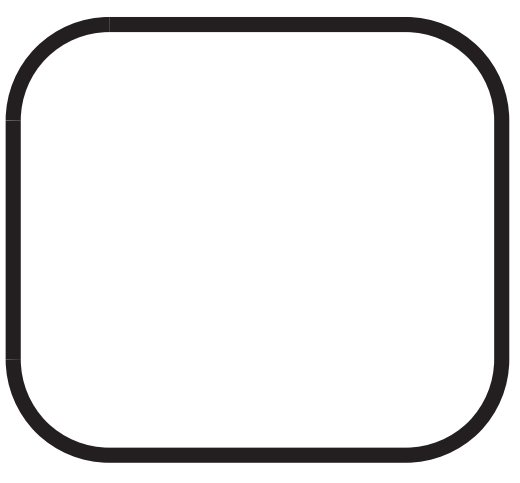
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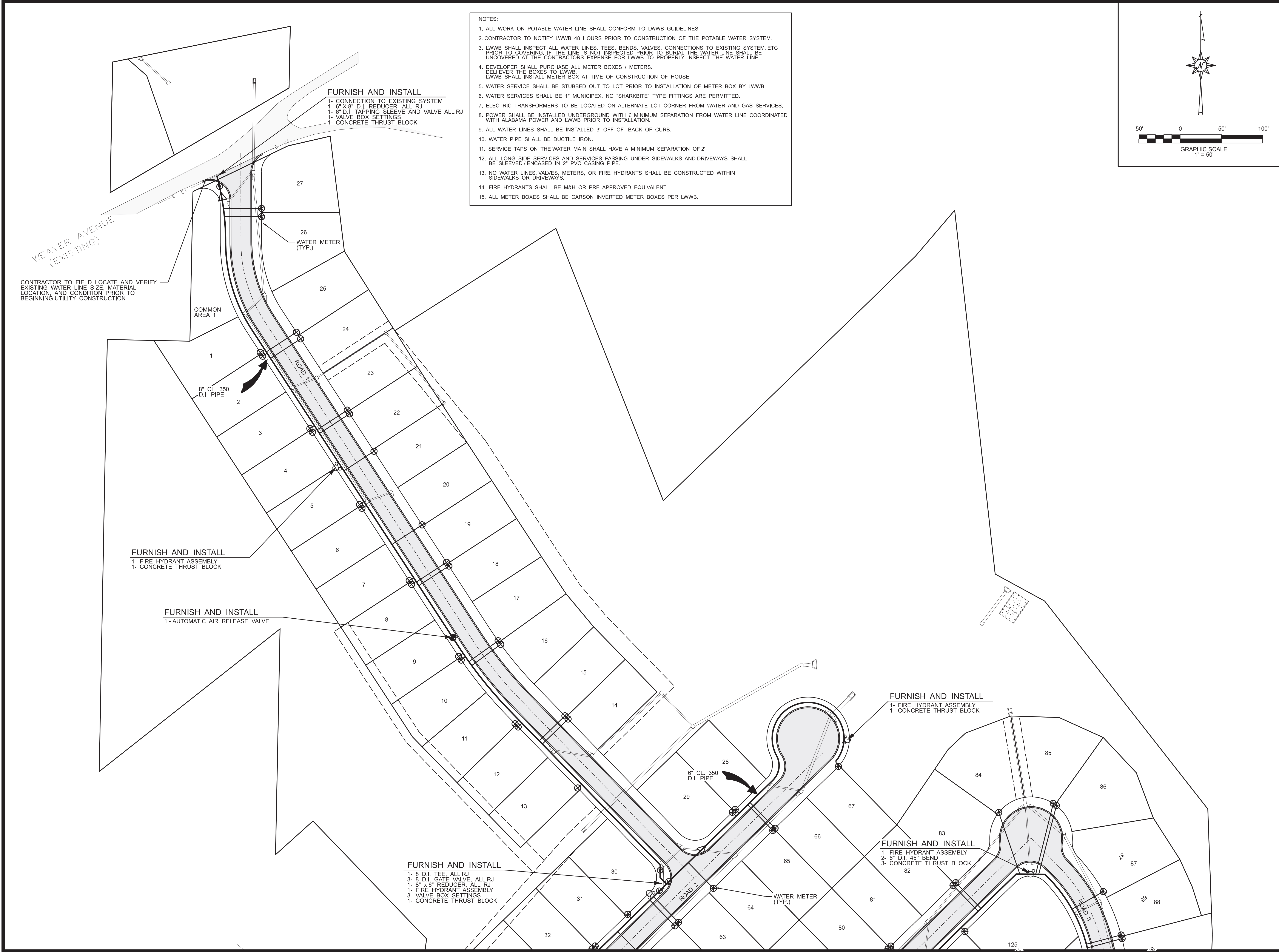
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ALABAMA REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASSIDY
 1/18/23

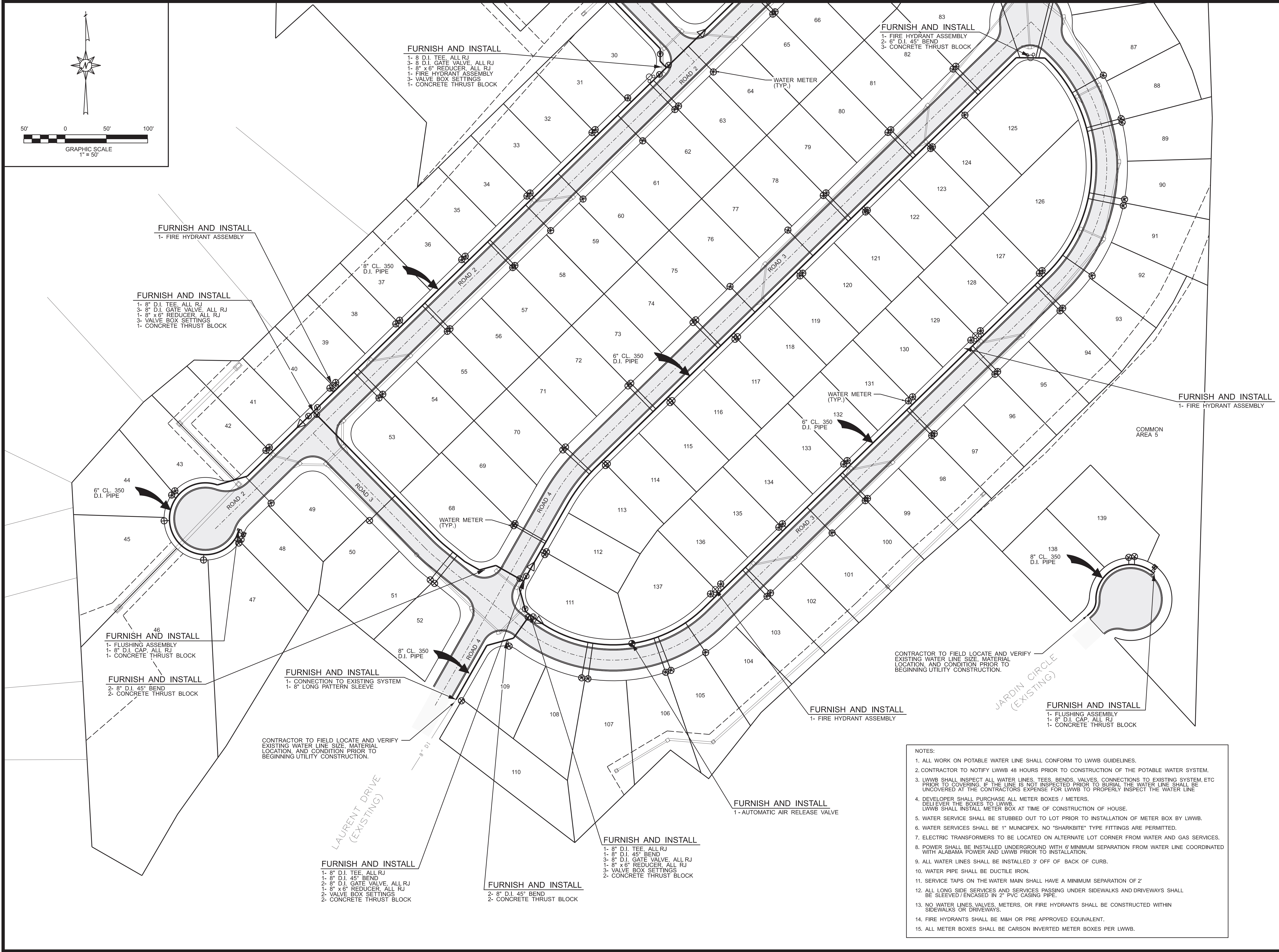
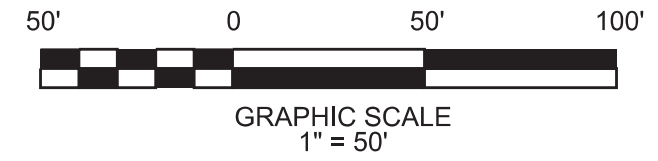
THIS SHEET CONTAINS:
WATER LINE PLAN

SCALE: 1"= 50'
 SHEET 39 OF 44

WT-2



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FURNISH AND INSTALL
1- 8" D.I. TEE, ALL RJ
3- 8" D.I. GATE VALVE, ALL RJ
1- 8" x 6" REDUCER, ALL RJ
1- FIRE HYDRANT ASSEMBLY
3- VALVE BOX SETTINGS
1- CONCRETE THRUST BLOCK

FURNISH AND INSTALL
1- FIRE HYDRANT ASSEMBLY
2- 8" D.I. 45° BEND
3- CONCRETE THRUST BLOCK

FURNISH AND INSTALL
1- FIRE HYDRANT ASSEMBLY

FURNISH AND INSTALL
1- 8" D.I. TEE, ALL RJ
3- 8" D.I. GATE VALVE, ALL RJ
1- 8" x 6" REDUCER, ALL RJ
3- VALVE BOX SETTINGS
1- CONCRETE THRUST BLOCK

FURNISH AND INSTALL
1- FIRE HYDRANT ASSEMBLY

6" CL. 350
D.I. PIPE

8" CL. 350
D.I. PIPE

8" CL. 350
D.I. PIPE

WATER METER
(TYP.)

8" CL. 350
D.I. PIPE

WATER METER
(TYP.)

8" CL. 350
D.I. PIPE

8" CL. 350
D.I. PIPE

CONTRACTOR TO FIELD LOCATE AND VERIFY
EXISTING WATER LINE SIZE, MATERIAL
LOCATION, AND CONDITION PRIOR TO
BEGINNING UTILITY CONSTRUCTION.

FURNISH AND INSTALL
1- FLUSHING ASSEMBLY
1- 8" D.I. CAP, ALL RJ
1- CONCRETE THRUST BLOCK

FURNISH AND INSTALL
2- 8" D.I. 45° BEND
2- CONCRETE THRUST BLOCK

FURNISH AND INSTALL
1- CONNECTION TO EXISTING SYSTEM
1- 8" LONG PATTERN SLEEVE

FURNISH AND INSTALL
1- FIRE HYDRANT ASSEMBLY

FURNISH AND INSTALL
1- FLUSHING ASSEMBLY
1- 8" D.I. CAP, ALL RJ
1- CONCRETE THRUST BLOCK

CONTRACTOR TO FIELD LOCATE AND VERIFY
EXISTING WATER LINE SIZE, MATERIAL
LOCATION, AND CONDITION PRIOR TO
BEGINNING UTILITY CONSTRUCTION.

FURNISH AND INSTALL
1- AUTOMATIC AIR RELEASE VALVE

FURNISH AND INSTALL
1- 8" D.I. TEE, ALL RJ
1- 8" D.I. 45° BEND
3- 8" D.I. GATE VALVE, ALL RJ
1- 8" x 6" REDUCER, ALL RJ
3- VALVE BOX SETTINGS
2- CONCRETE THRUST BLOCK

FURNISH AND INSTALL
2- 8" D.I. 45° BEND
2- CONCRETE THRUST BLOCK

FURNISH AND INSTALL
1- 8" D.I. TEE, ALL RJ
1- 8" D.I. 45° BEND
2- 8" D.I. GATE VALVE, ALL RJ
1- 8" x 6" REDUCER, ALL RJ
3- VALVE BOX SETTINGS
2- CONCRETE THRUST BLOCK

- NOTES:
1. ALL WORK ON POTABLE WATER LINE SHALL CONFORM TO LWWB GUIDELINES.
 2. CONTRACTOR TO NOTIFY LWWB 48 HOURS PRIOR TO CONSTRUCTION OF THE POTABLE WATER SYSTEM.
 3. LWWB SHALL INSPECT ALL WATER LINES, TEES, BENDS, VALVES, CONNECTIONS TO EXISTING SYSTEM, ETC PRIOR TO COVERING. IF THE LINE IS NOT INSPECTED PRIOR TO BURIAL, THE WATER LINE SHALL BE UNCOVERED AT THE CONTRACTORS EXPENSE FOR LWWB TO PROPERLY INSPECT THE WATER LINE.
 4. DEVELOPER SHALL PURCHASE ALL METER BOXES / METERS. DELIVER THE BOXES TO LWWB. LWWB SHALL INSTALL METER BOX AT TIME OF CONSTRUCTION OF HOUSE.
 5. WATER SERVICE SHALL BE STUBBED OUT TO LOT PRIOR TO INSTALLATION OF METER BOX BY LWWB.
 6. WATER SERVICES SHALL BE 1" MUNICIPEX. NO "SHARKBITE" TYPE FITTINGS ARE PERMITTED.
 7. ELECTRIC TRANSFORMERS TO BE LOCATED ON ALTERNATE LOT CORNER FROM WATER AND GAS SERVICES.
 8. POWER SHALL BE INSTALLED UNDERGROUND WITH 6" MINIMUM SEPARATION FROM WATER LINE COORDINATED WITH ALABAMA POWER AND LWWB PRIOR TO INSTALLATION.
 9. ALL WATER LINES SHALL BE INSTALLED 3' OFF OF BACK OF CURB.
 10. WATER PIPE SHALL BE DUCTILE IRON.
 11. SERVICE TAPS ON THE WATER MAIN SHALL HAVE A MINIMUM SEPARATION OF 2'
 12. ALL LONG SIDE SERVICES AND SERVICES PASSING UNDER SIDEWALKS AND DRIVEWAYS SHALL BE SLEEVED / ENCASED IN 2" PVC CASING PIPE.
 13. NO WATER LINES, VALVES, METERS, OR FIRE HYDRANTS SHALL BE CONSTRUCTED WITHIN SIDEWALKS OR DRIVEWAYS.
 14. FIRE HYDRANTS SHALL BE M&H OR PRE APPROVED EQUIVALENT.
 15. ALL METER BOXES SHALL BE CARSON INVERTED METER BOXES PER LWWB.

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CONSTRUCTION PLANS FOR:

DANSBY

LEEDS, ALABAMA

PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

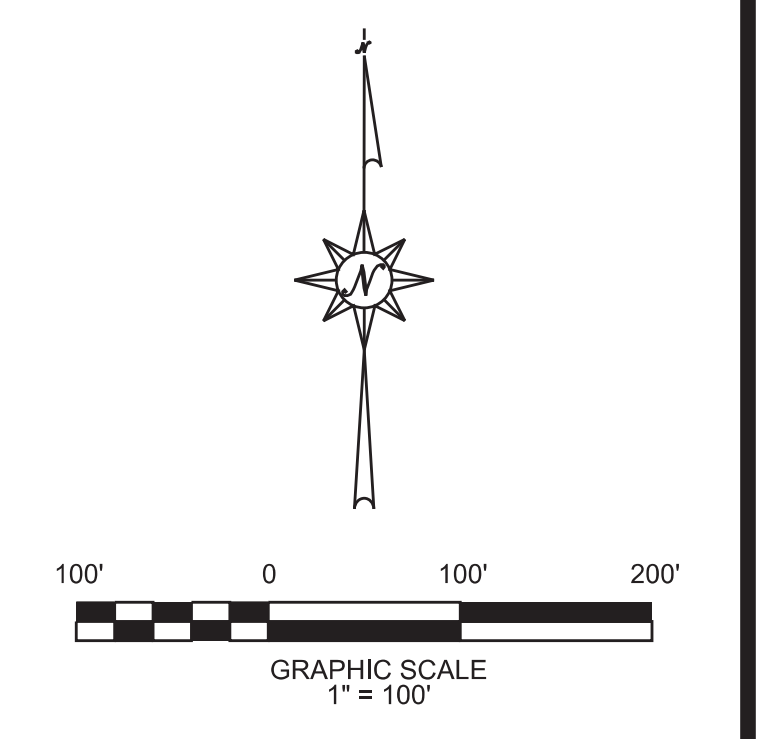
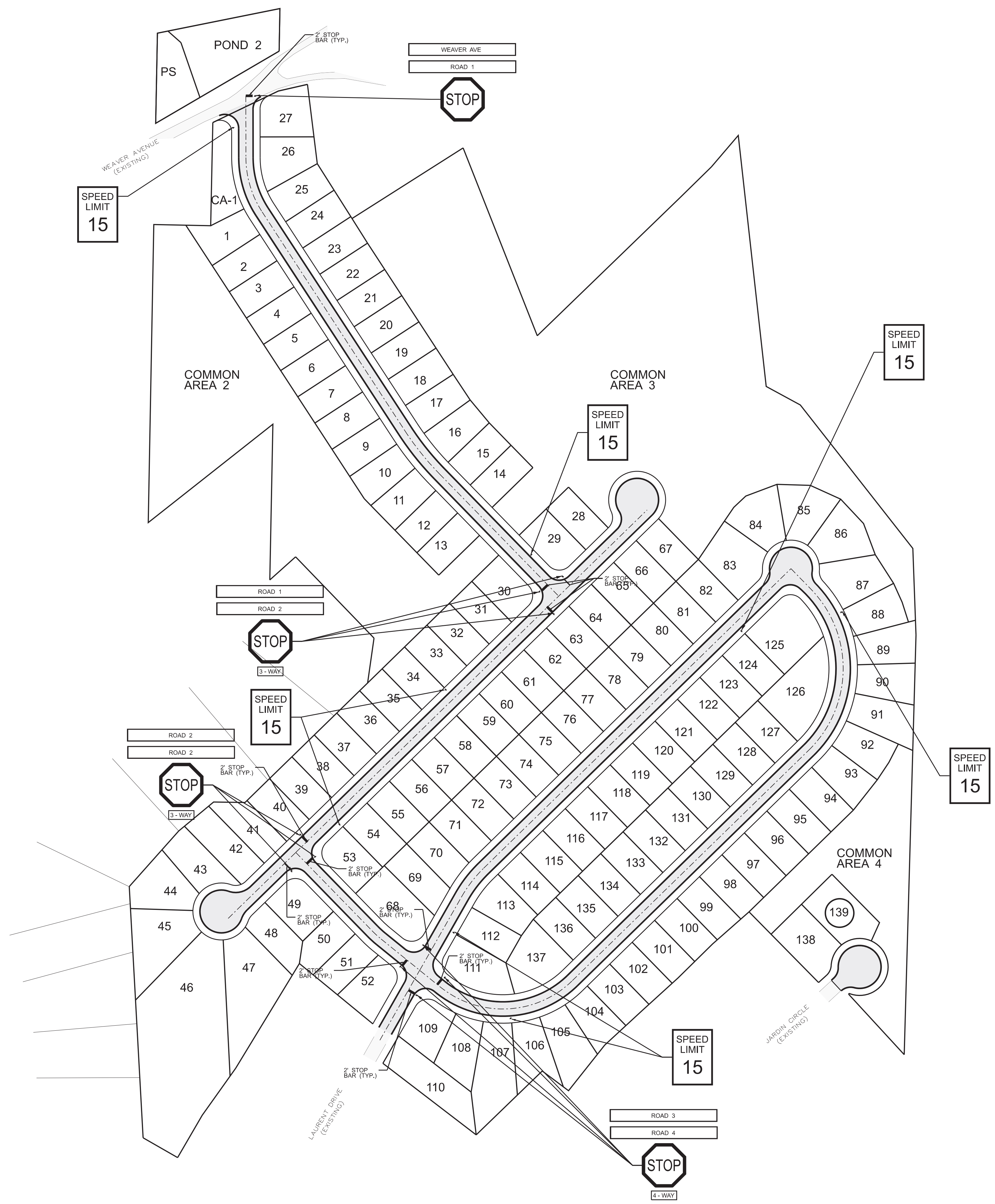
1/18/23

THIS SHEET CONTAINS:
WATER LINE PLAN

SCALE: 1"= 50'
SHEET 40 OF 44

WT-3

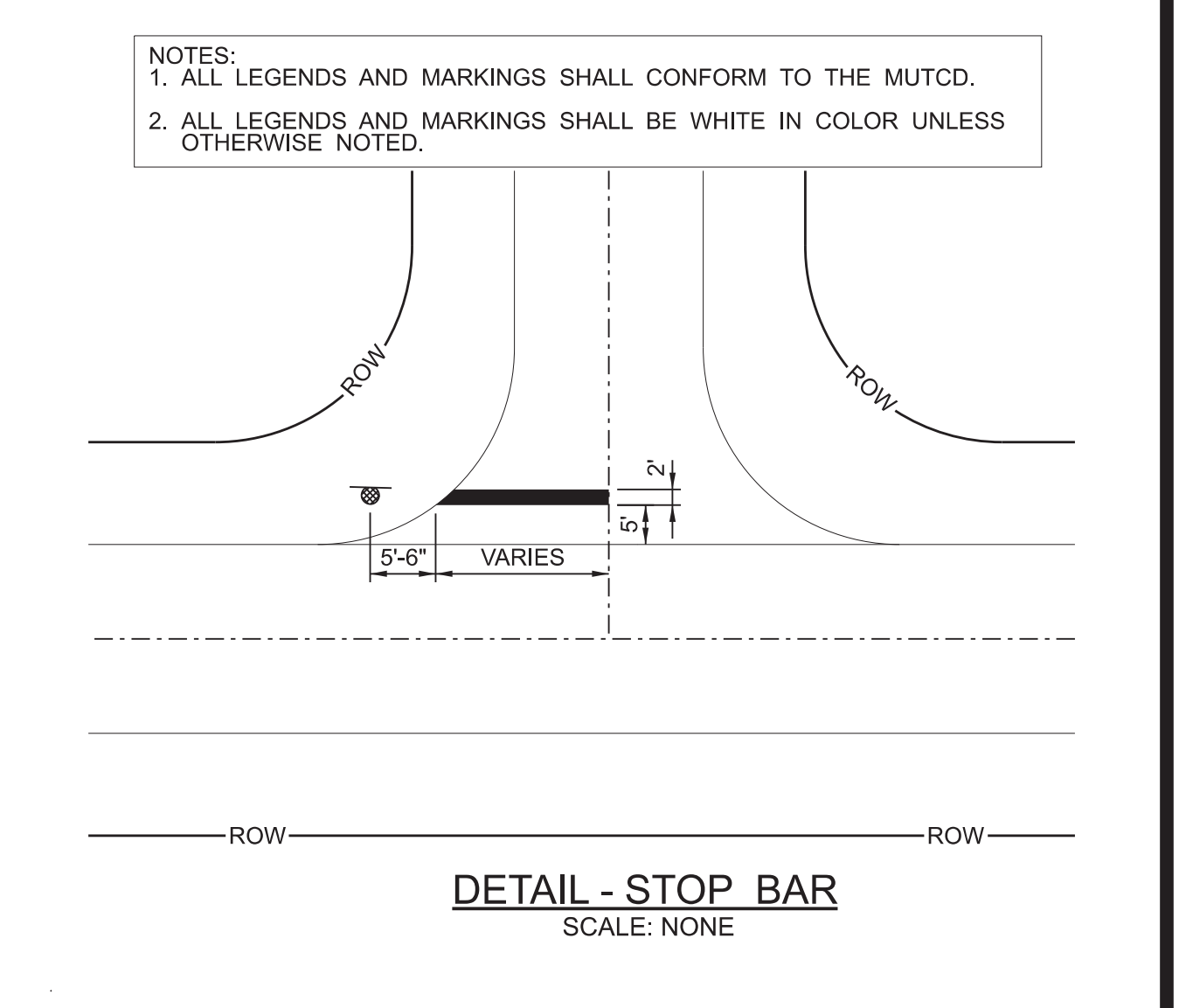
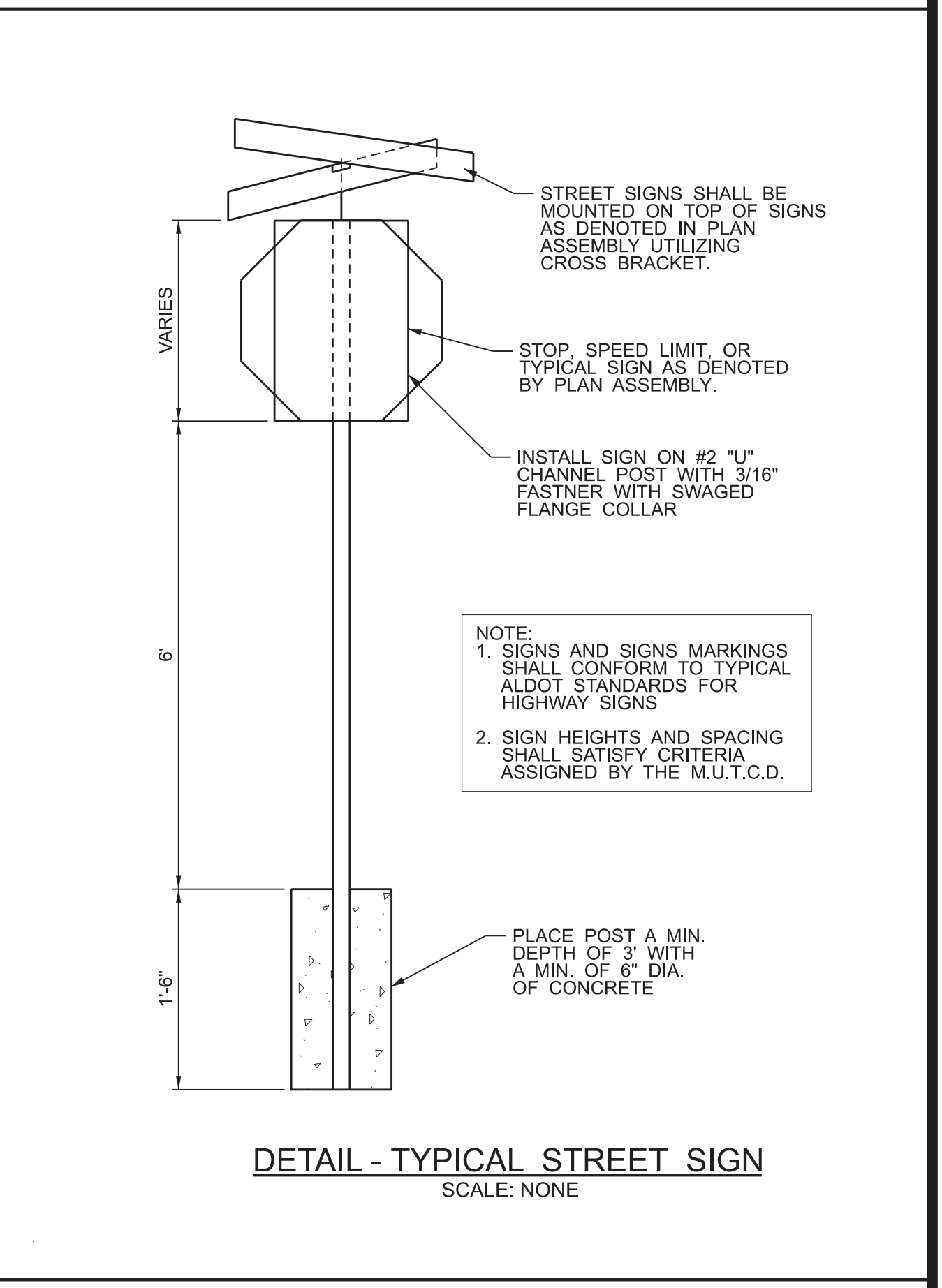
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DANSBY
 LEEDS, ALABAMA



PROJECT INFO:
 INSITE JOB No. 22098.00
 PLOTTED: 1/18/23

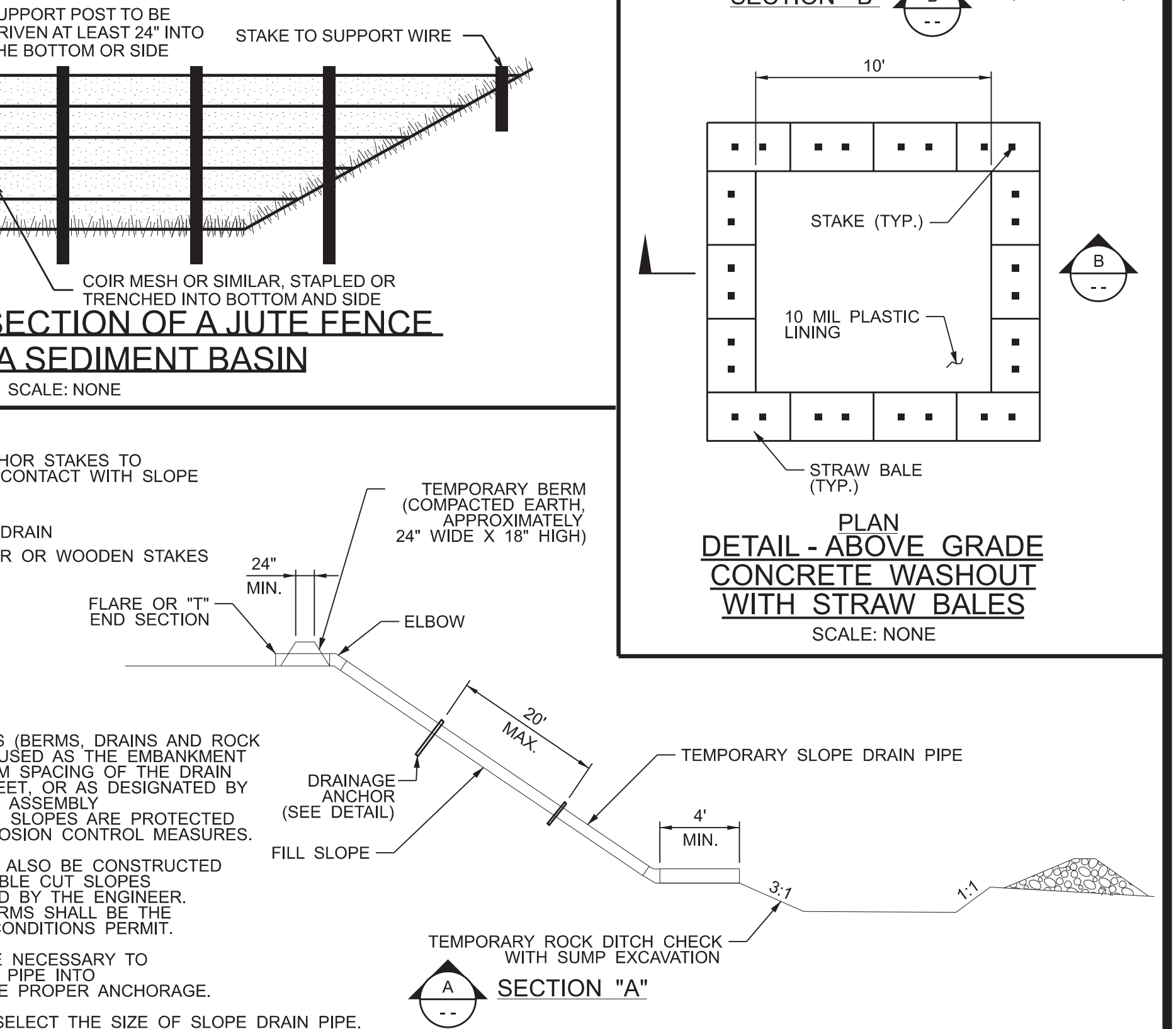
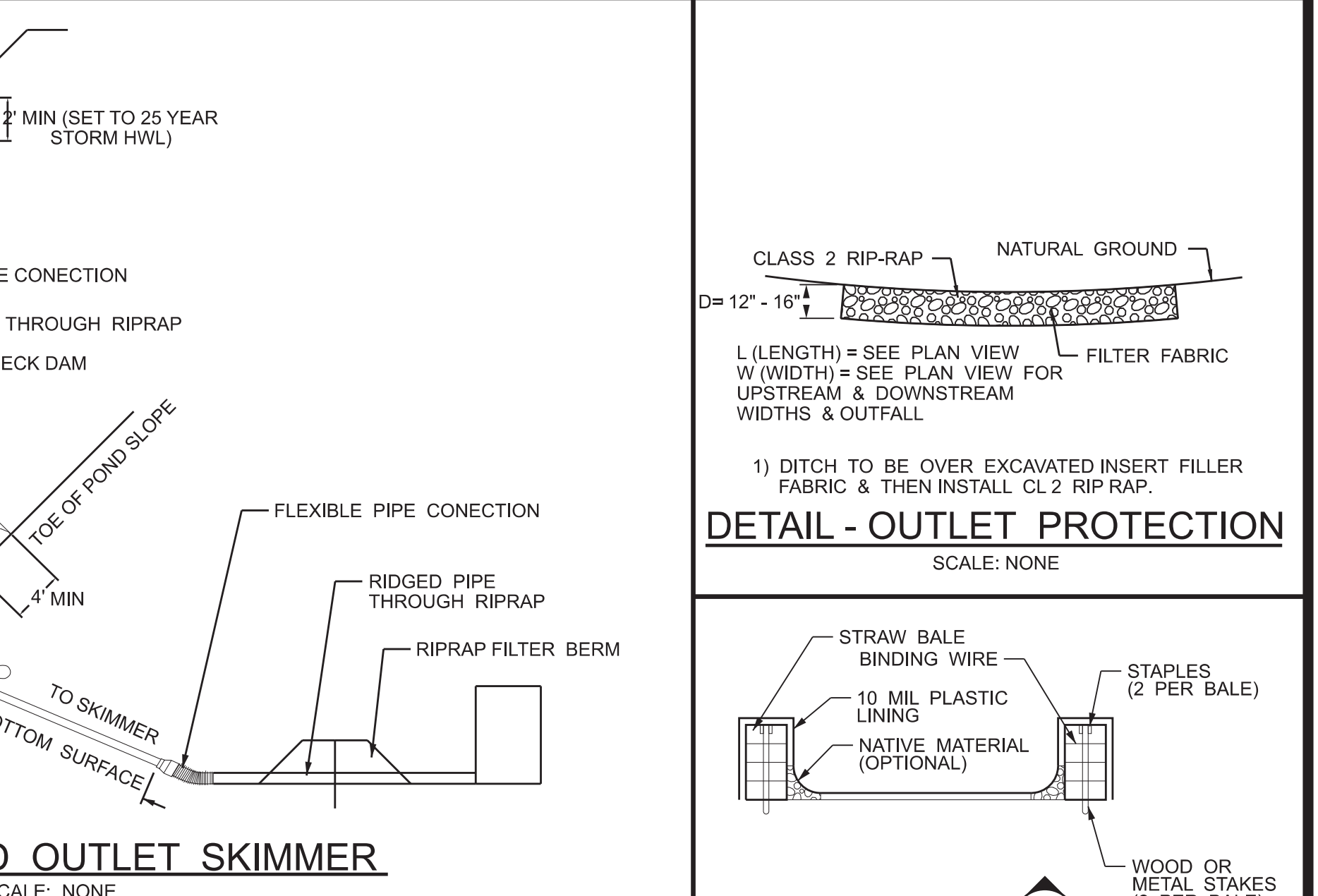
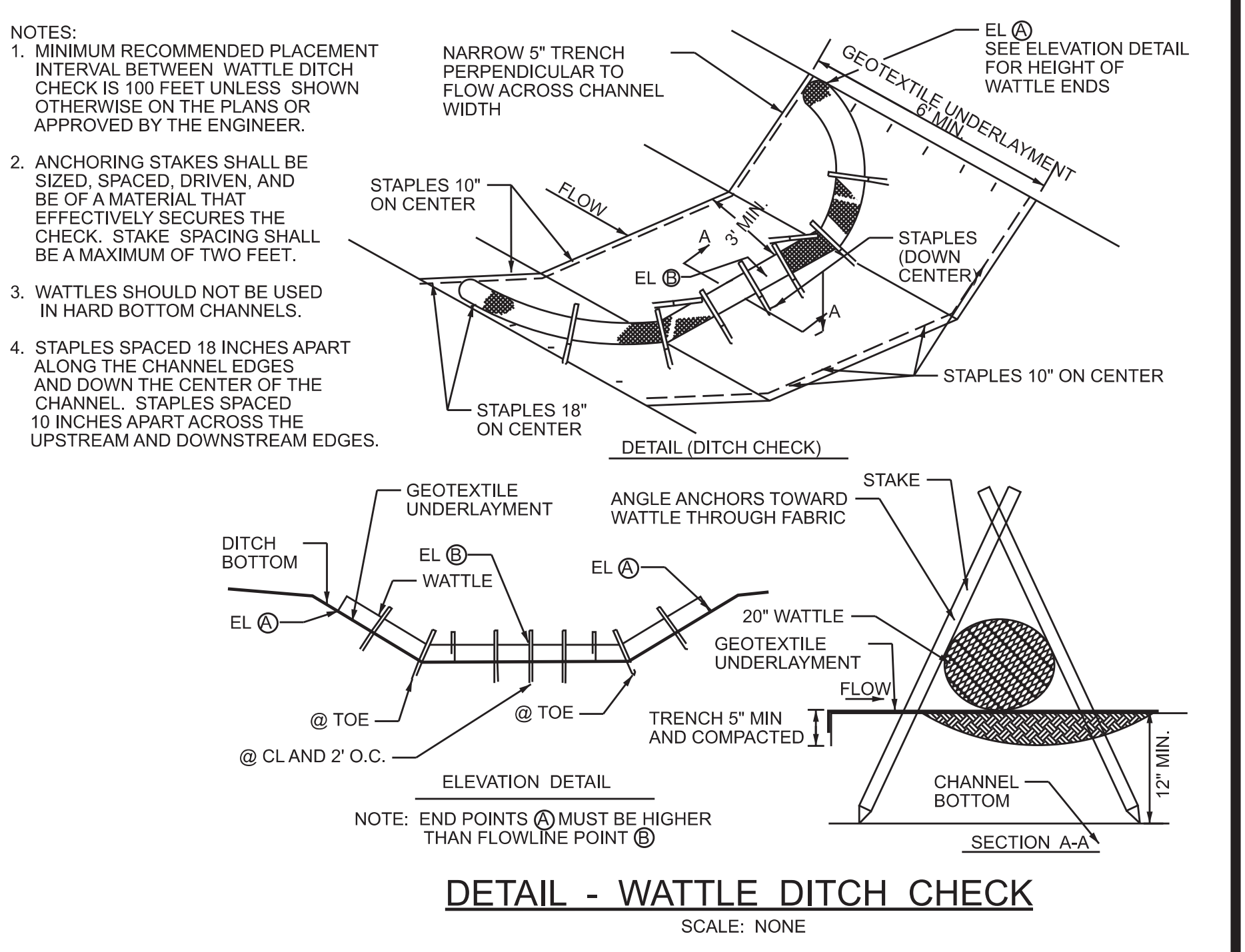
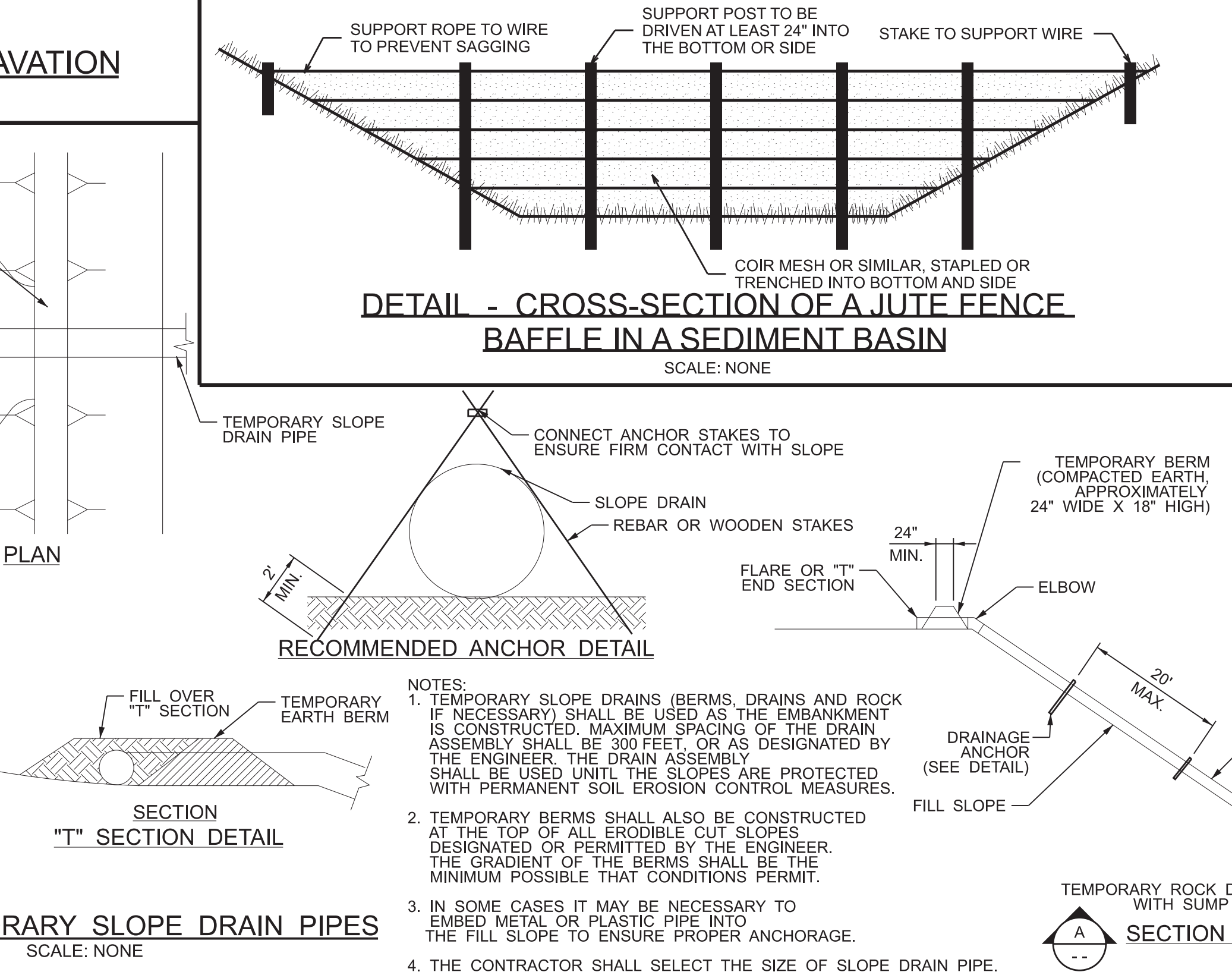
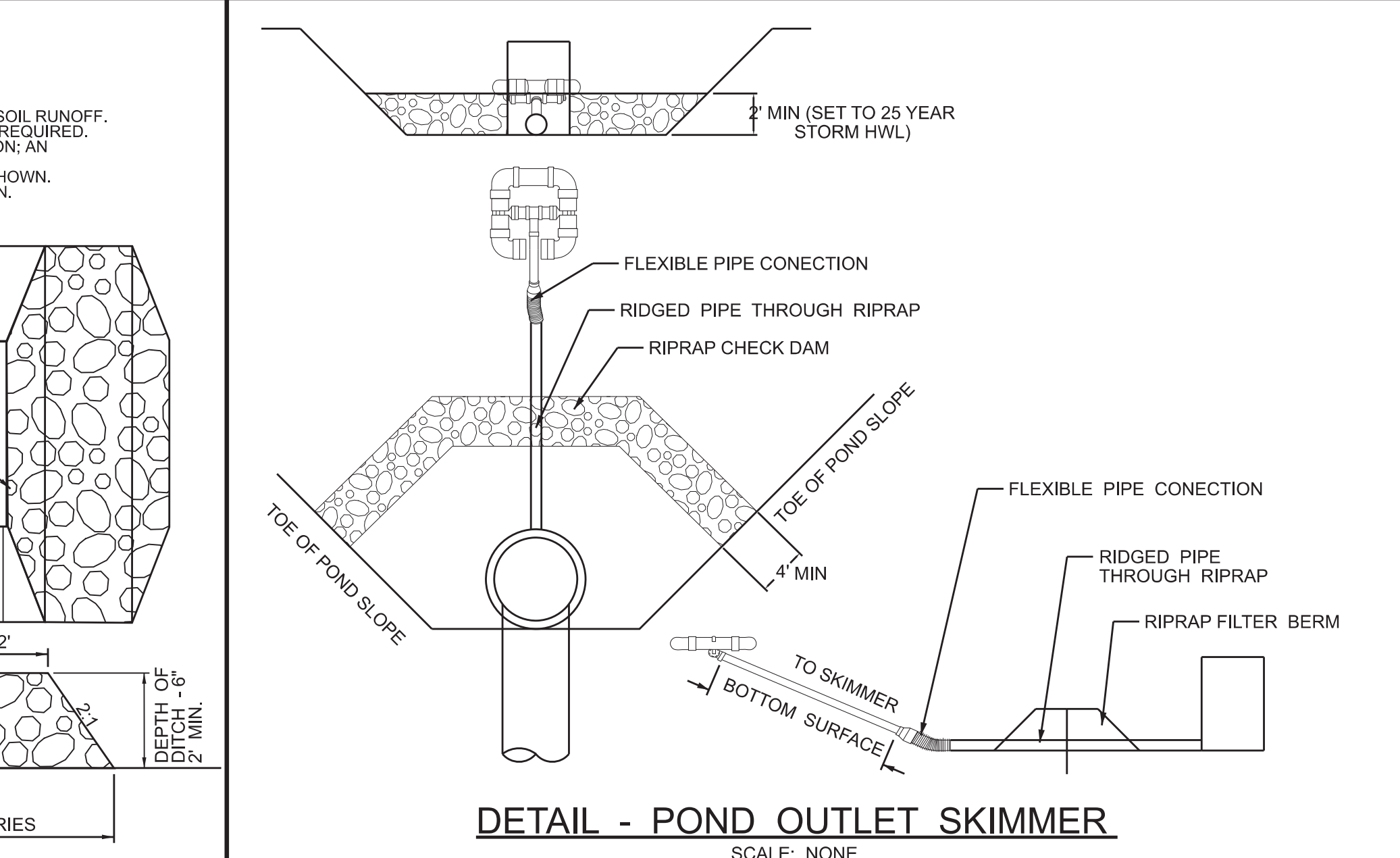
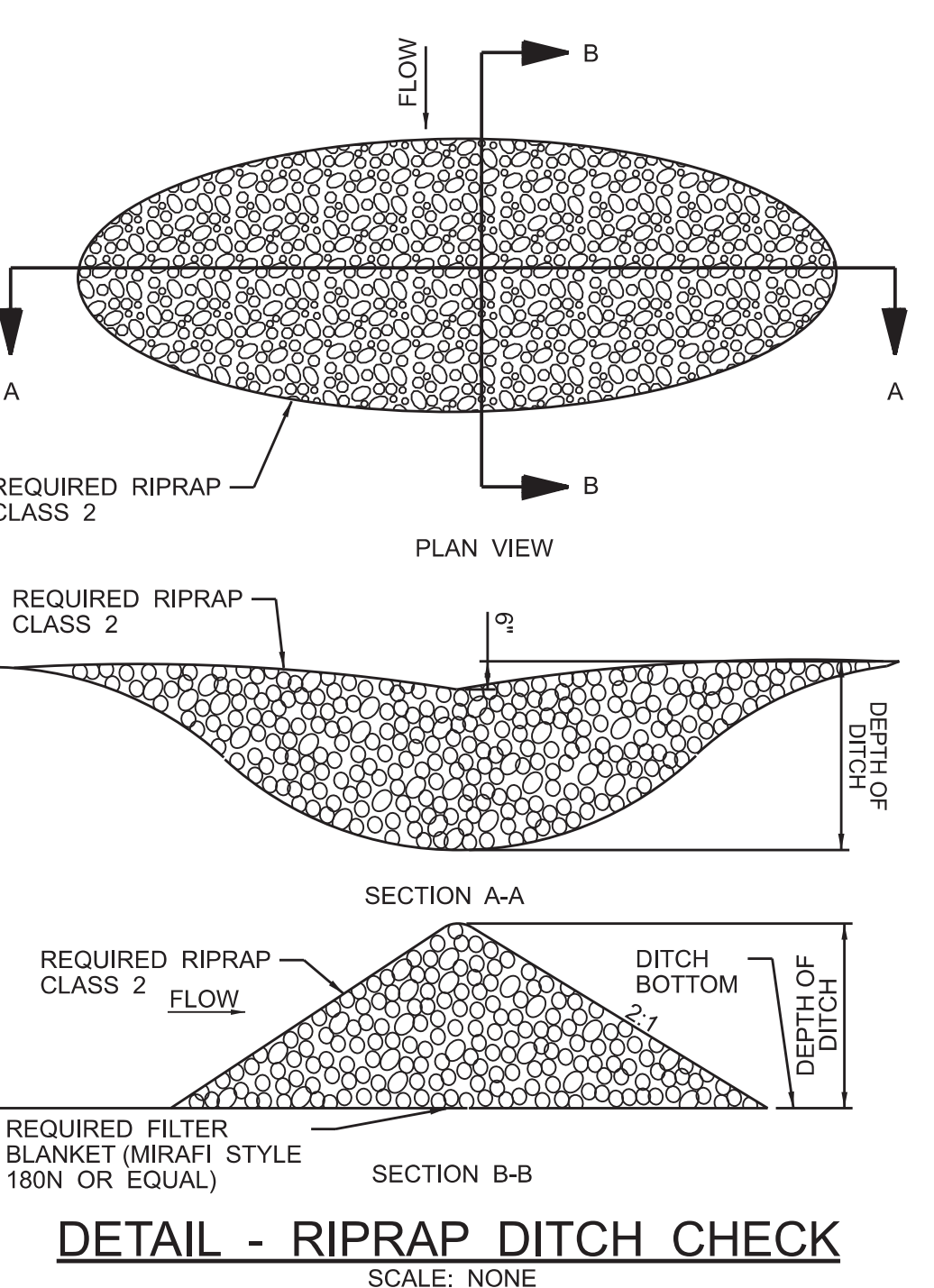
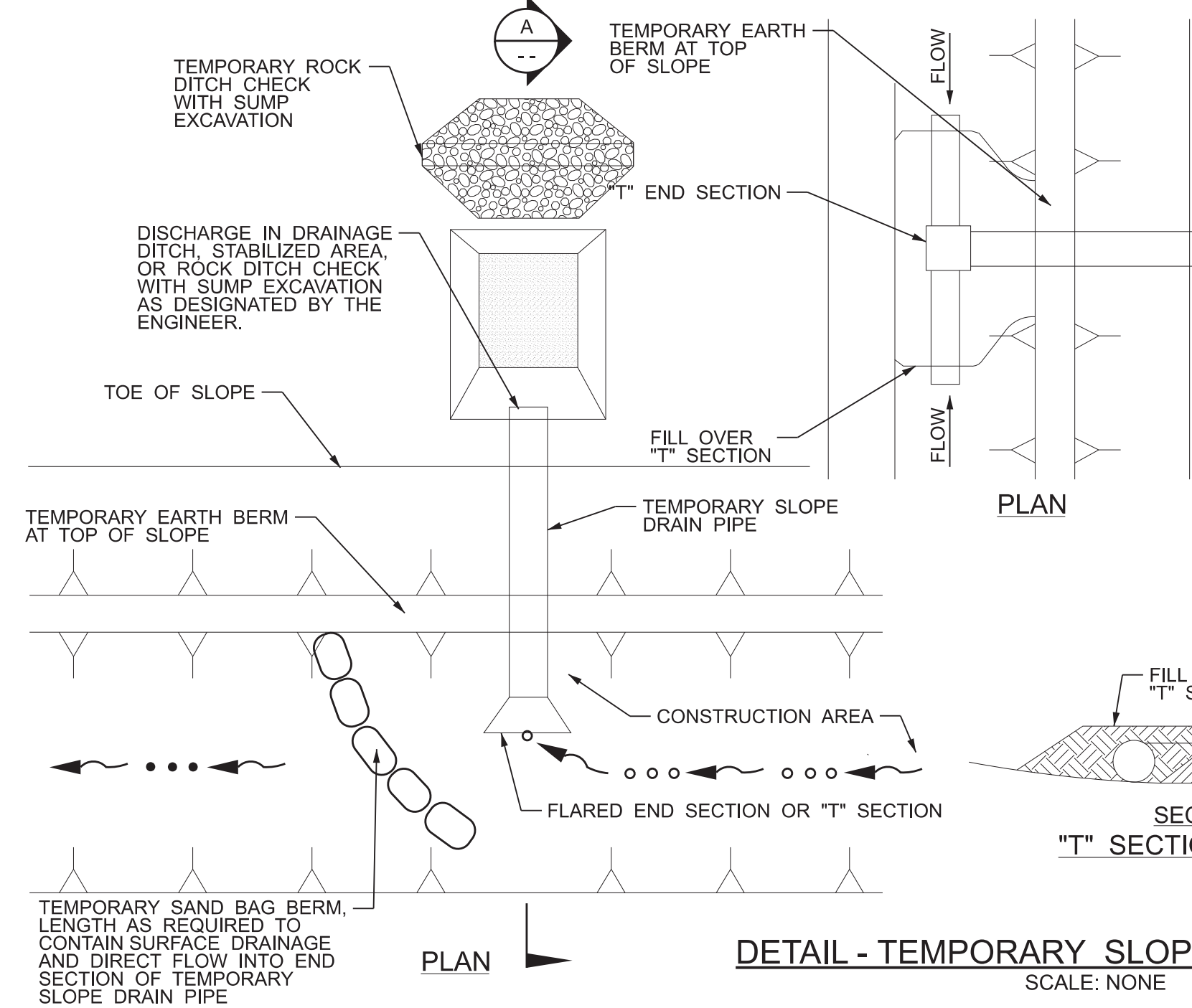
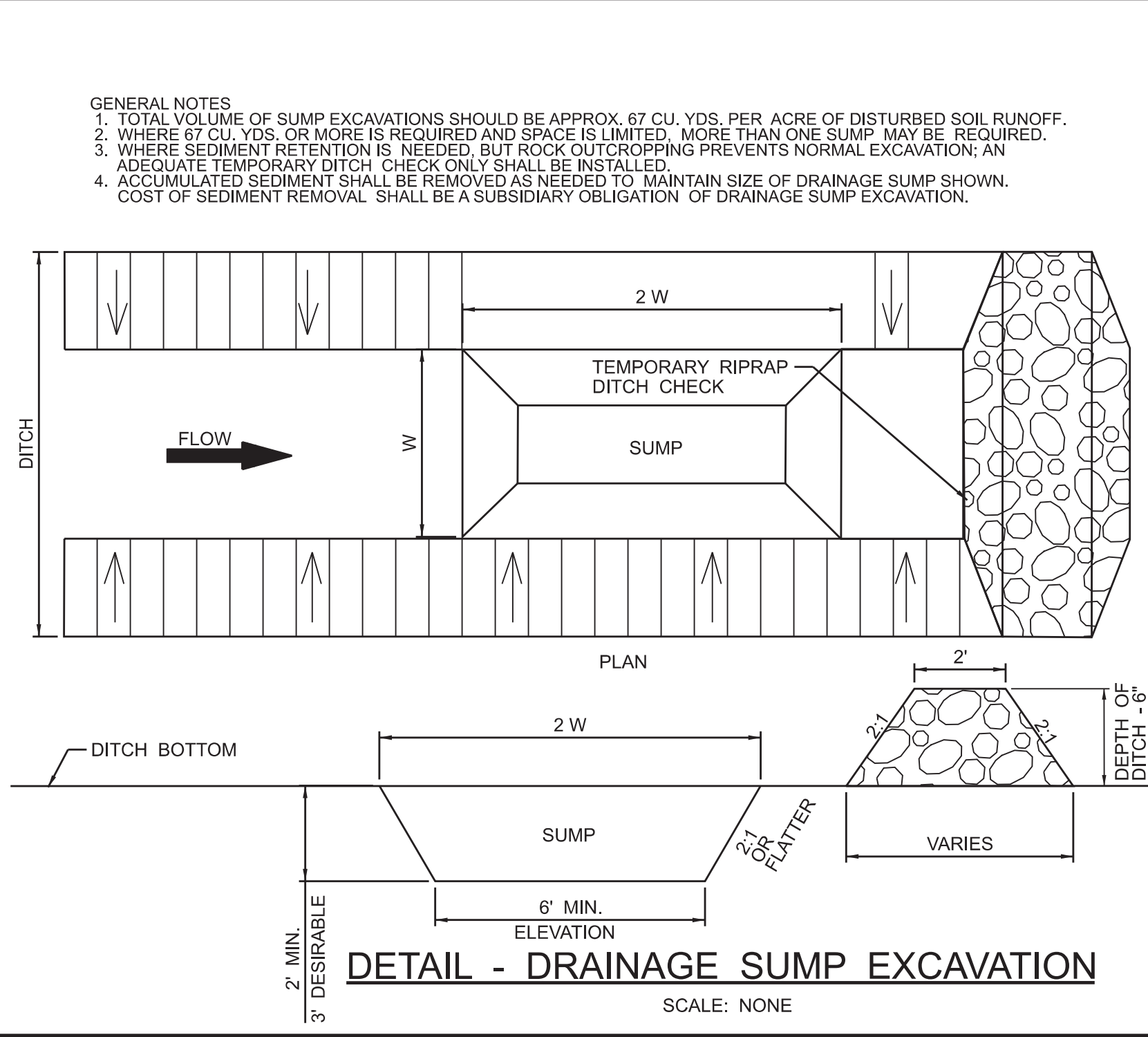
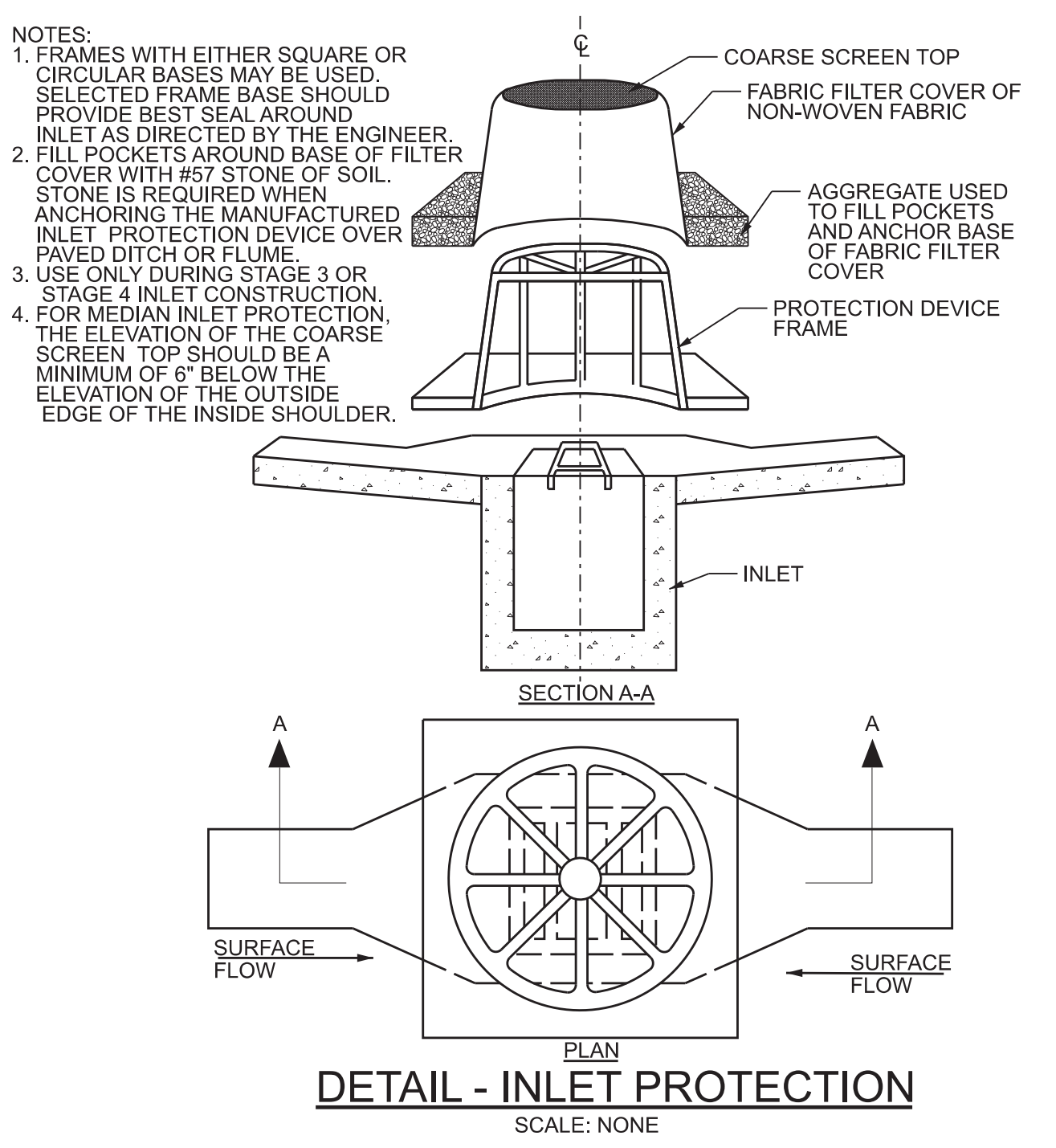
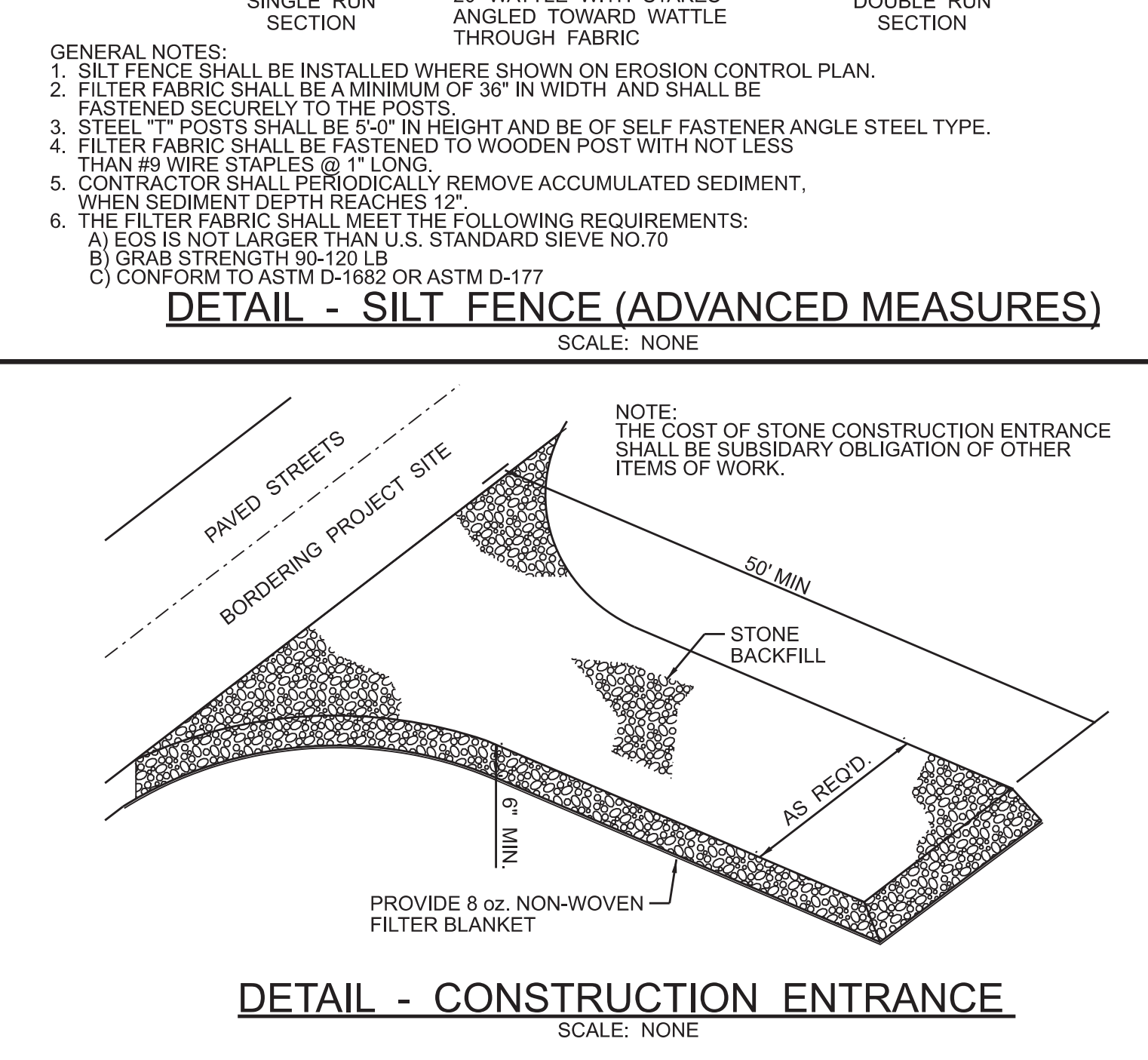
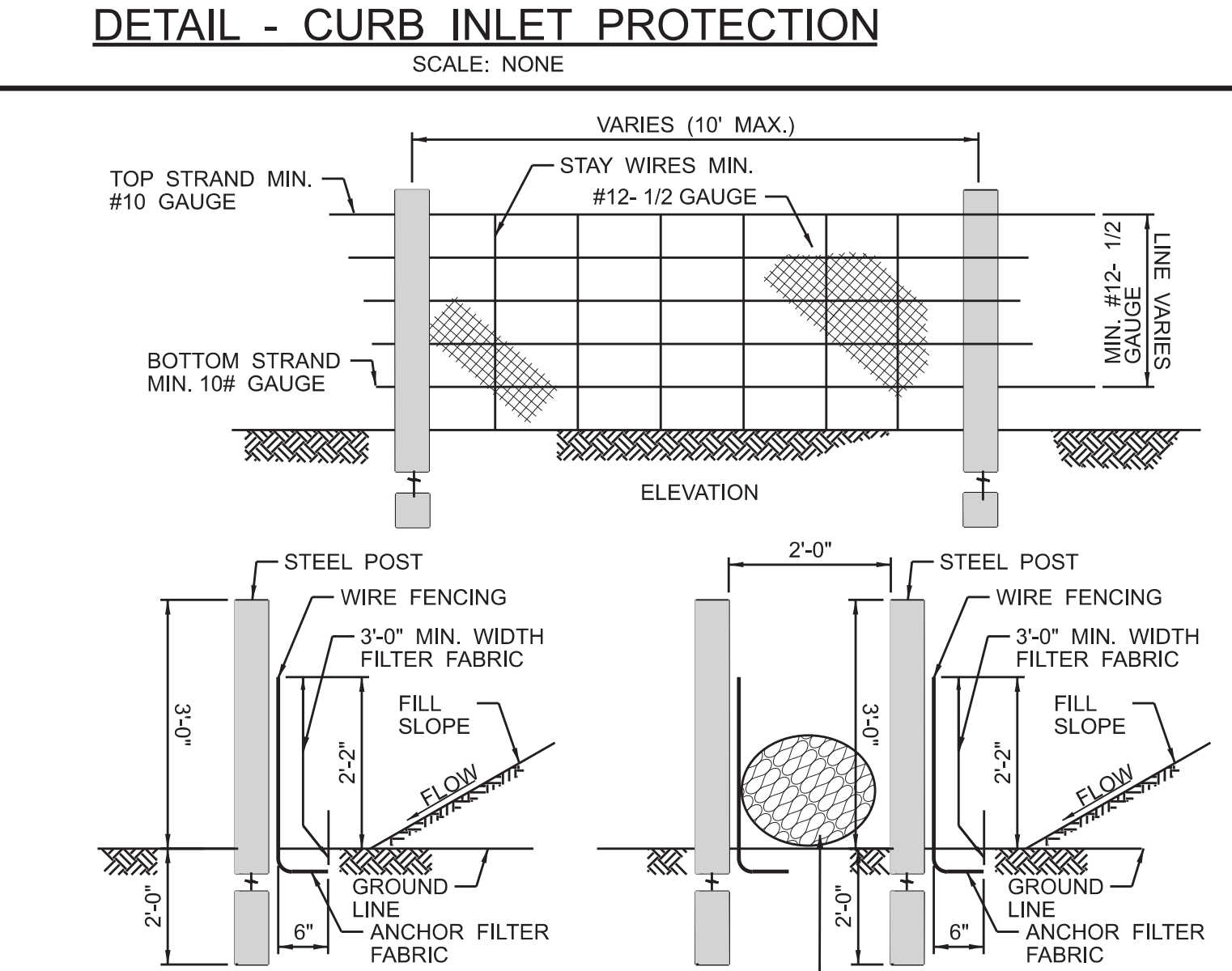
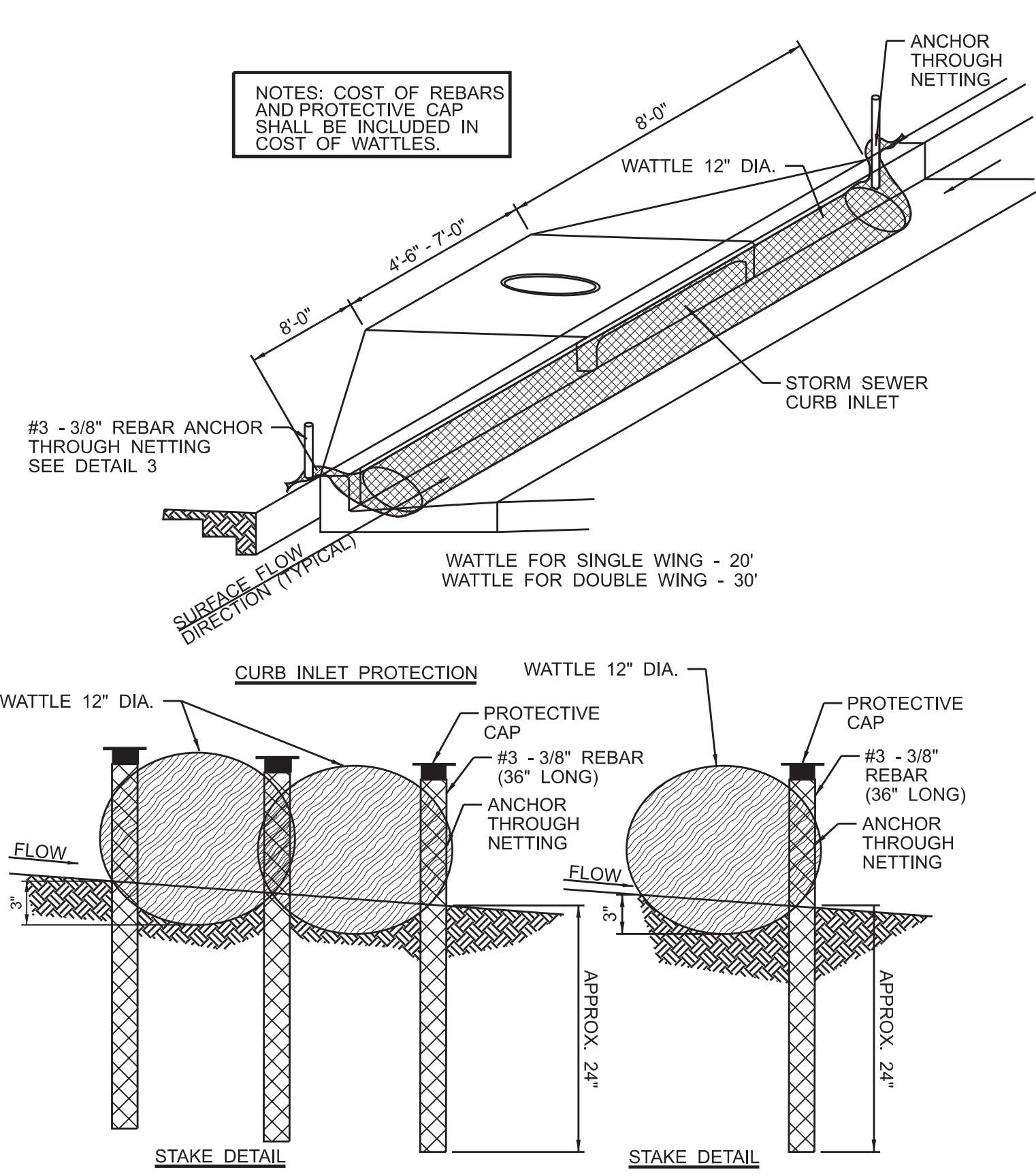
ALABAMA REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASIDY
 1/18/23

THIS SHEET CONTAINS:
 SIGNAGE AND STRIPING PLAN

SCALE: 1" = 100'
 SHEET 41 OF 44

SC-1

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DANSBY

LEEDS, ALABAMA

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INSITE JOB No. 22098.00
PLOTTED: 1/18/23

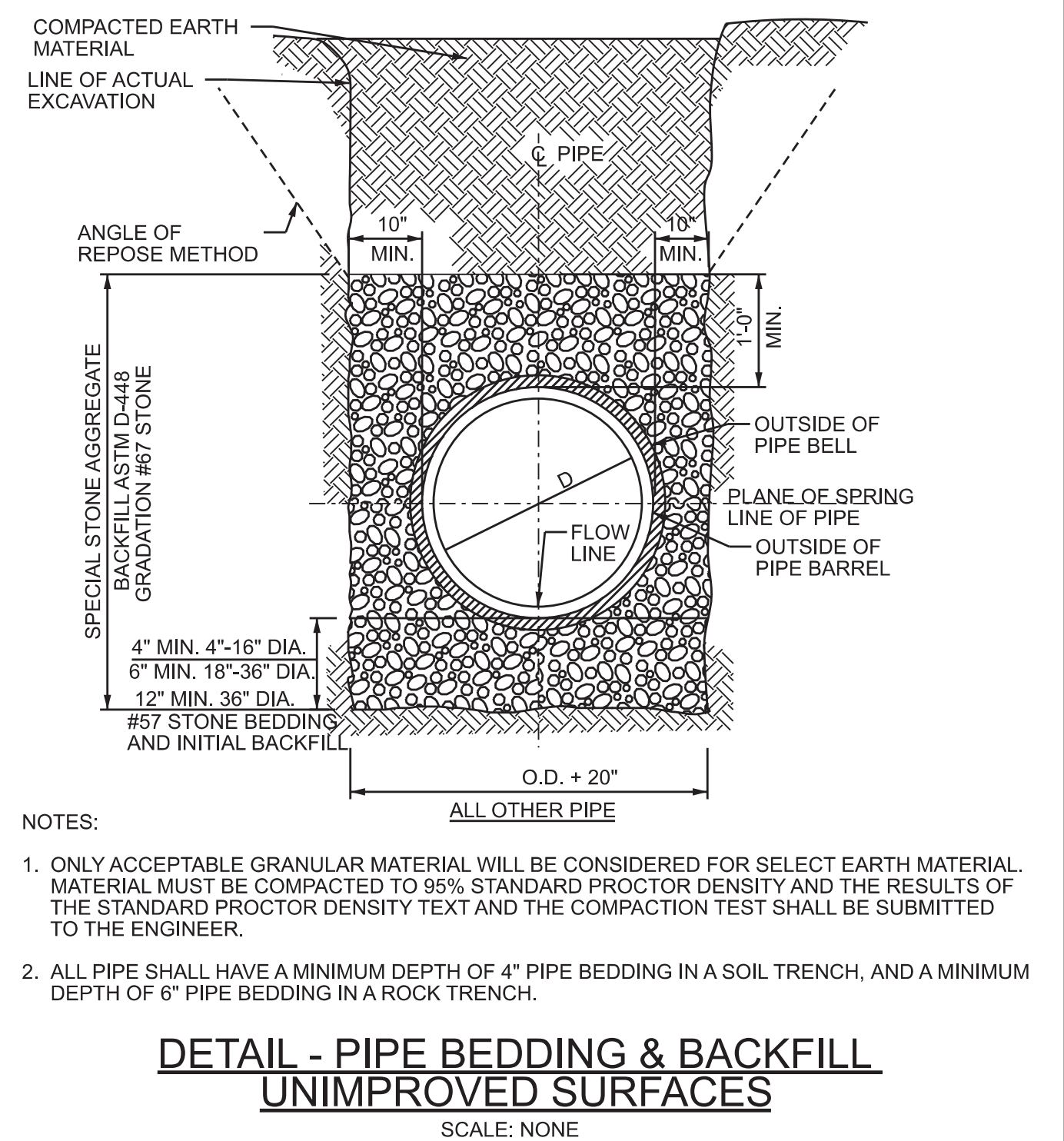
1/18/23

THIS SHEET CONTAINS:
EROSION CONTROL
DETAILS

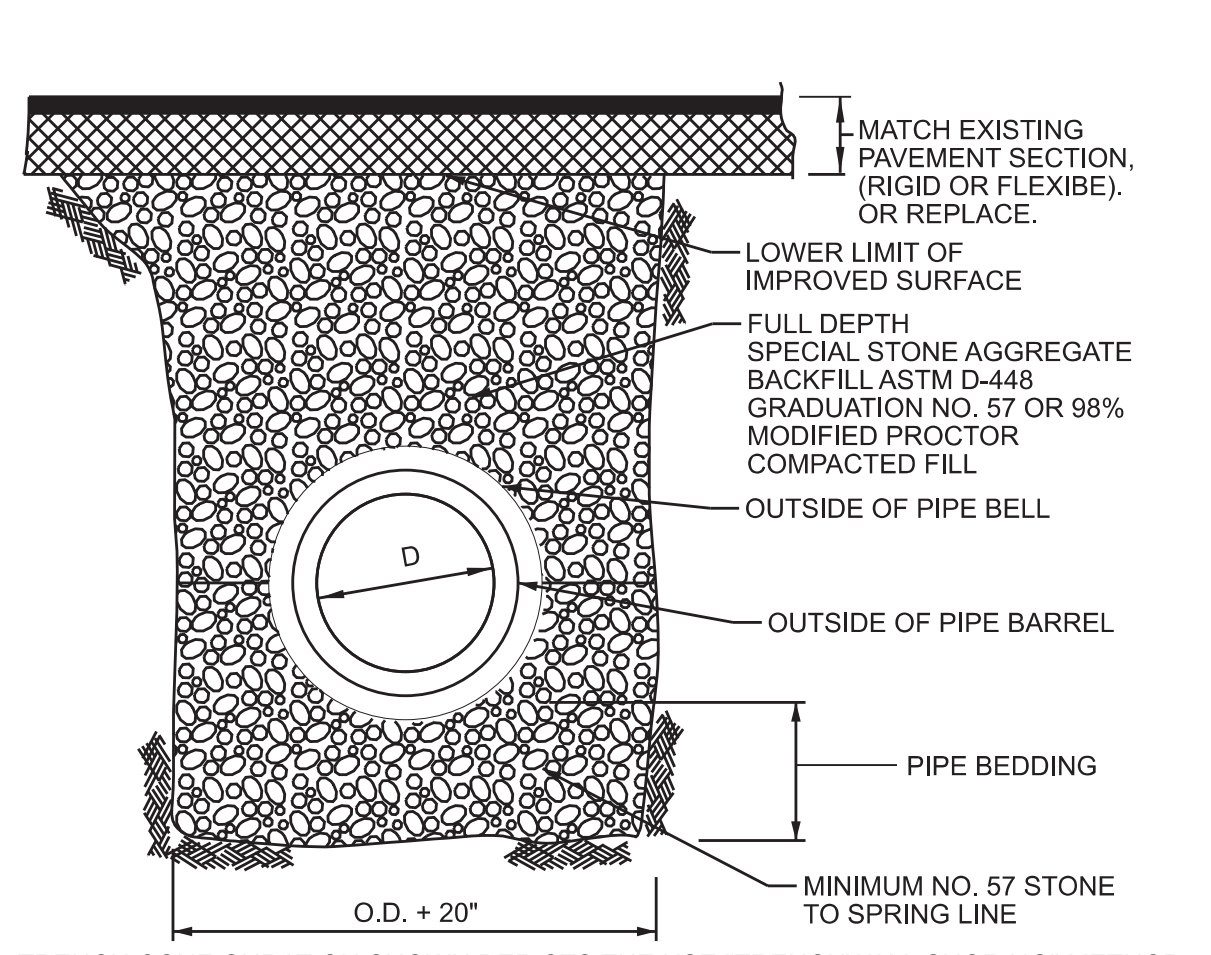
SCALE: NONE
SHEET 42 OF 44

DT-1

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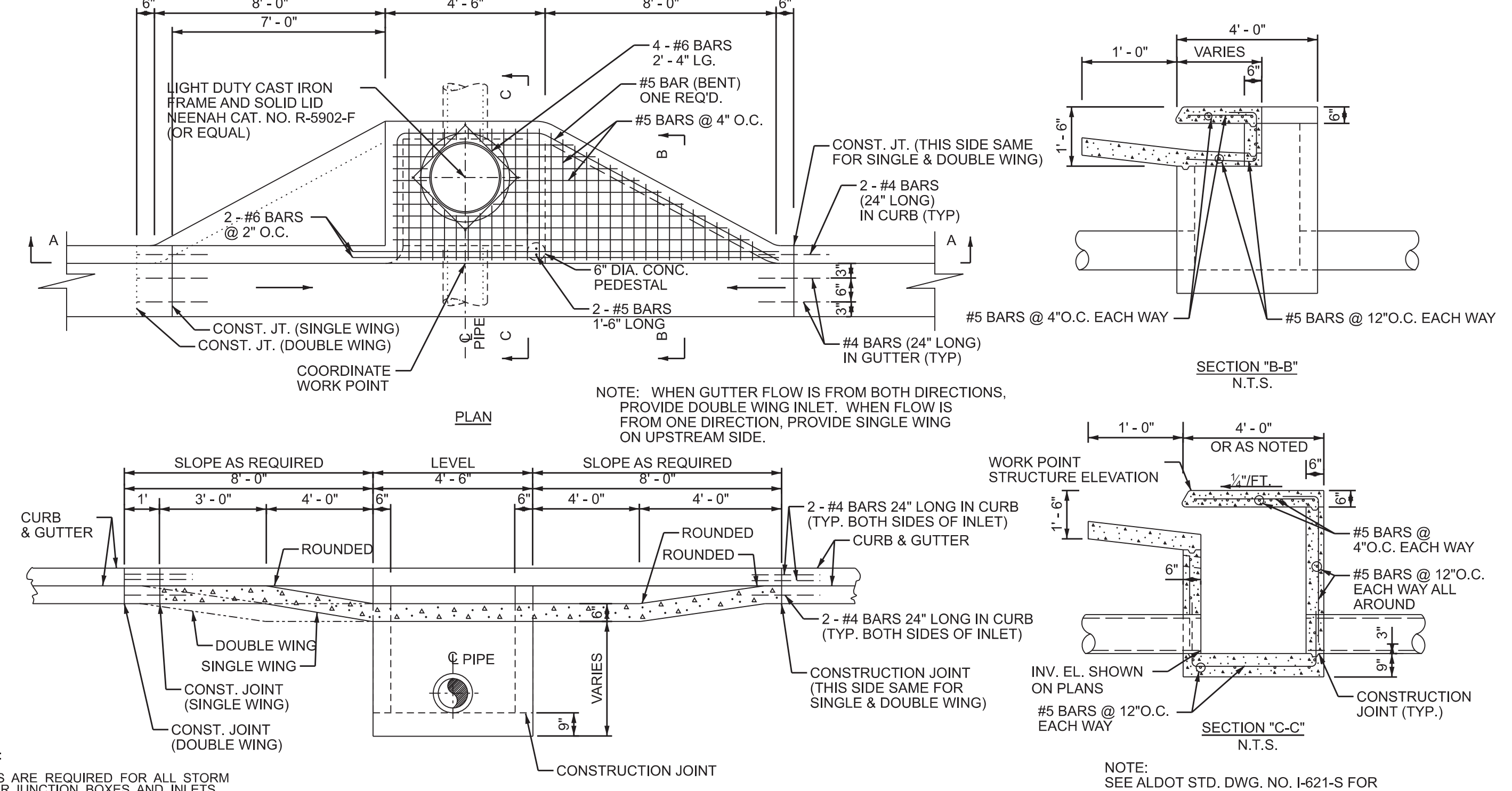


NOTES:
 1. ONLY ACCEPTABLE GRANULAR MATERIAL WILL BE CONSIDERED FOR SELECT EARTH MATERIAL. MATERIAL MUST BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AND THE RESULTS OF THE STANDARD PROCTOR DENSITY TEST AND THE COMPACTION TEST SHALL BE SUBMITTED TO THE ENGINEER.
 2. ALL PIPE SHALL HAVE A MINIMUM DEPTH OF 4" PIPE BEDDING IN A SOIL TRENCH, AND A MINIMUM DEPTH OF 6" PIPE BEDDING IN A ROCK TRENCH.



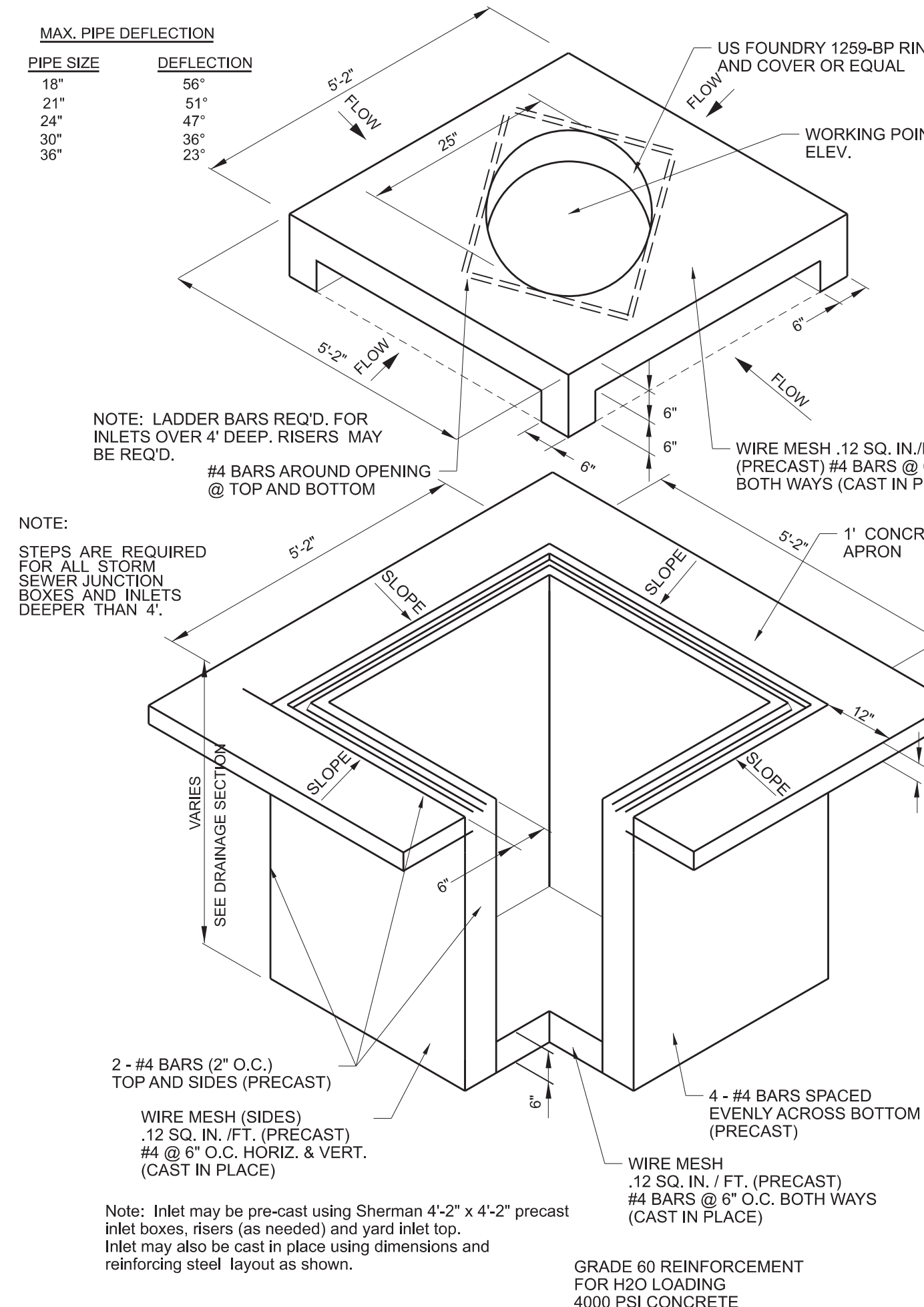
1. TRENCH CONFIGURATION SHOWN DEPICTS THE USE "TRENCHWALL SHORING" METHOD, WHICH SHALL BE USED UNDER ALL PAVED AREAS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 2. THE CONTRACTOR SHALL REFER TO APPLICABLE "O.S.H.A. REGULATIONS FOR "OPEN TRENCH EXCAVATIONS".

DETAIL - PIPE BEDDING & BACKFILL UNDER PAVEMENT
 SCALE: NONE

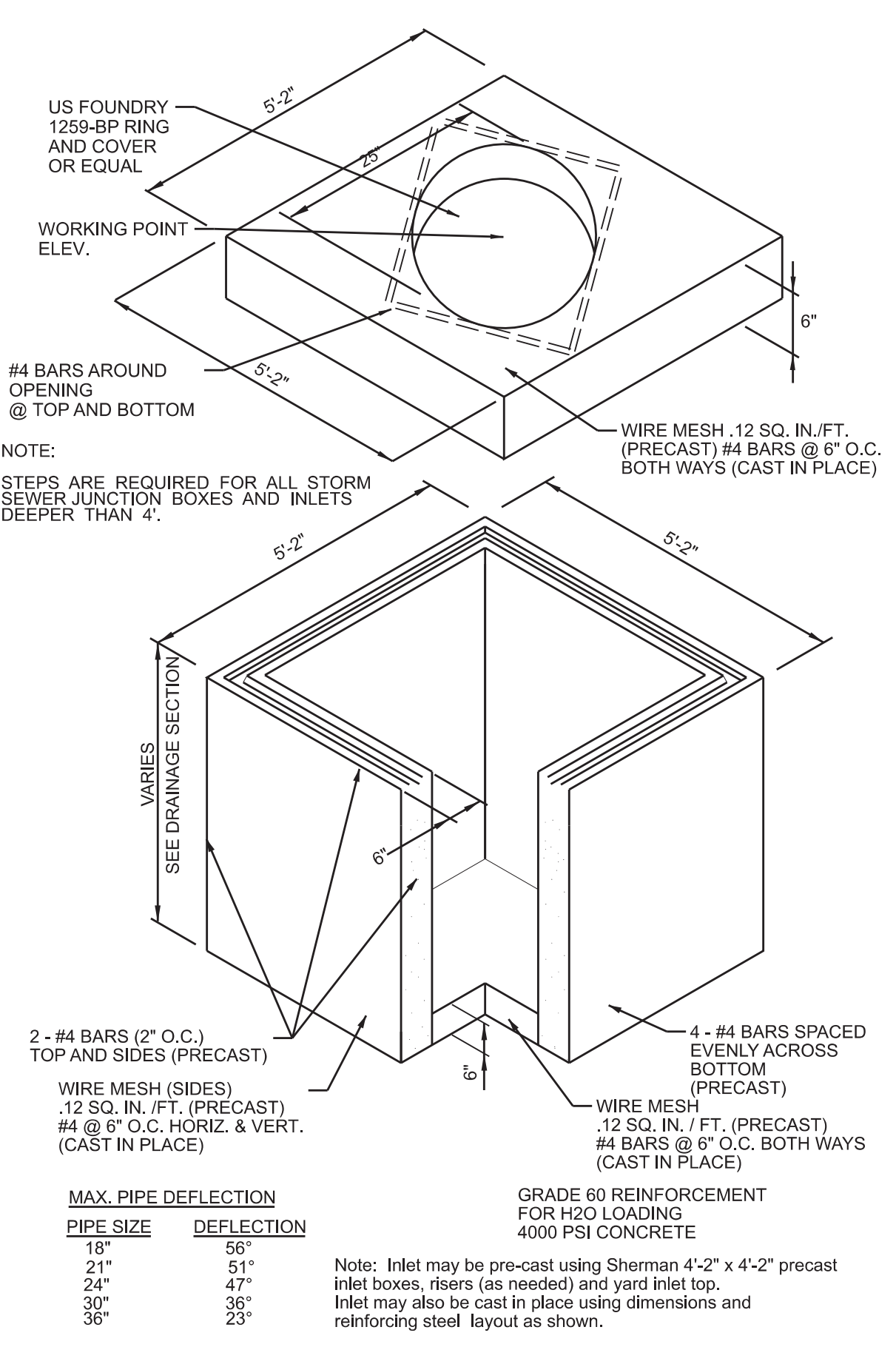


NOTE: WHEN GUTTER FLOW IS FROM BOTH DIRECTIONS, PROVIDE DOUBLE WING INLET. WHEN FLOW IS FROM ONE DIRECTION, PROVIDE SINGLE WING ON UPSTREAM SIDE.
 NOTE: STEPS ARE REQUIRED FOR ALL STORM SEWER JUNCTION BOXES AND INLETS DEEPER THAN 4".
 NOTE: SEE ALDOT STD. DWG. NO. I-621-S FOR DETAILS NOT SHOWN.
 ALL INLET BOXES, MANHOLES, ETC., SHALL BE PRECAST OR POURED IN PLACE.

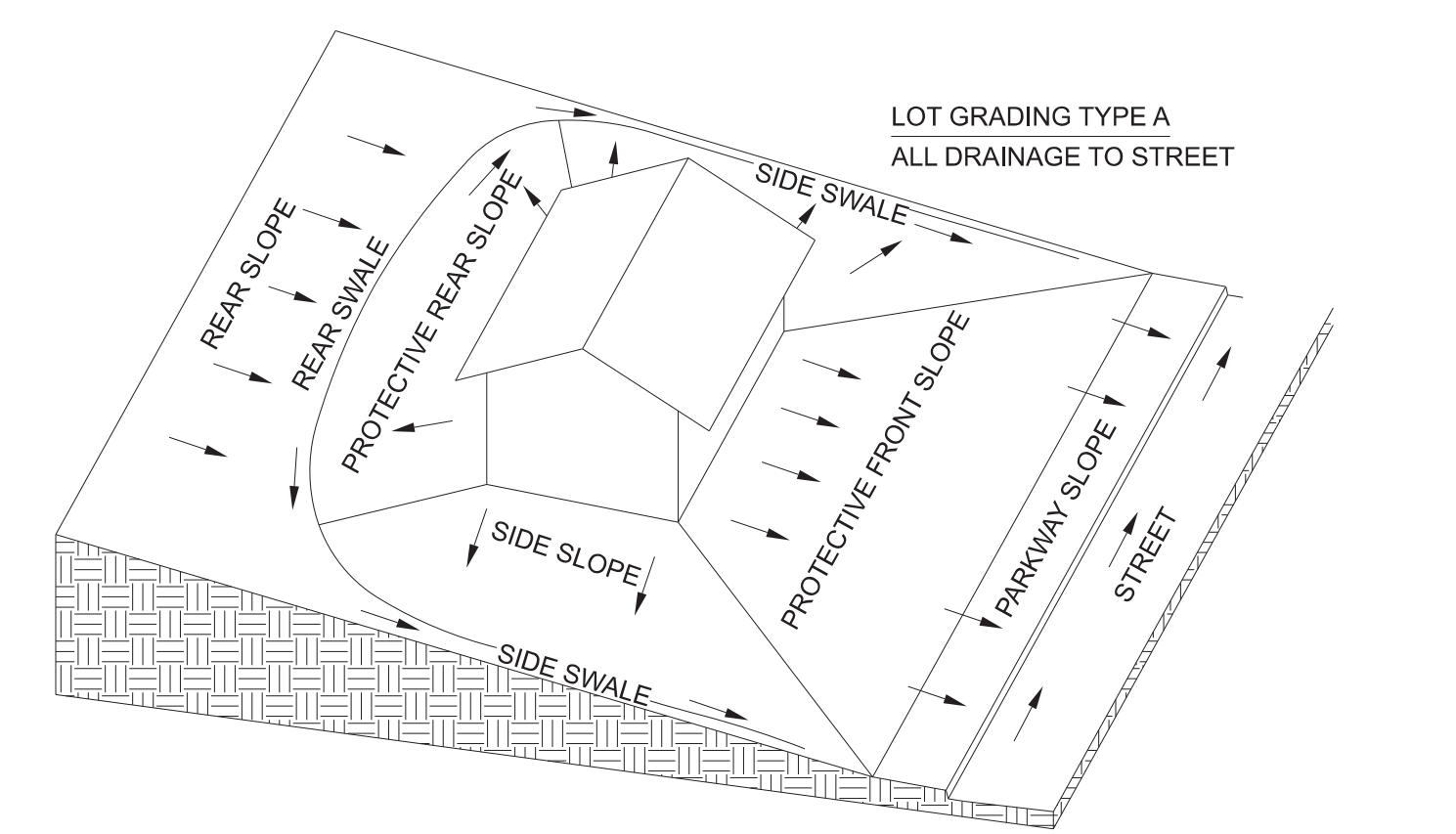
DETAIL - CURB INLET
 SCALE: NONE



DETAIL - 4 SIDED WEIR INLET
 SCALE: NONE

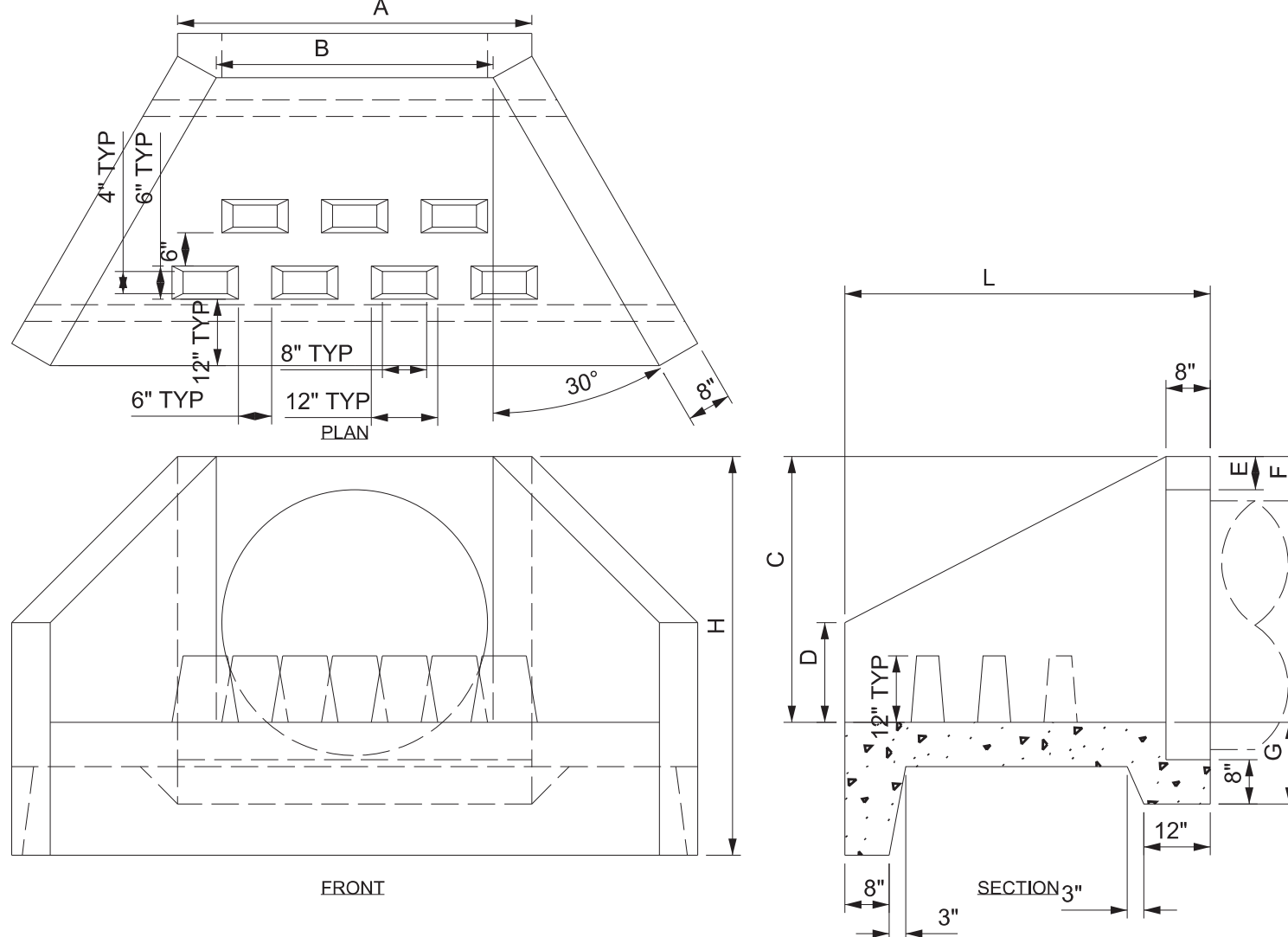


DETAIL - JUNCTION BOX
 SCALE: NONE

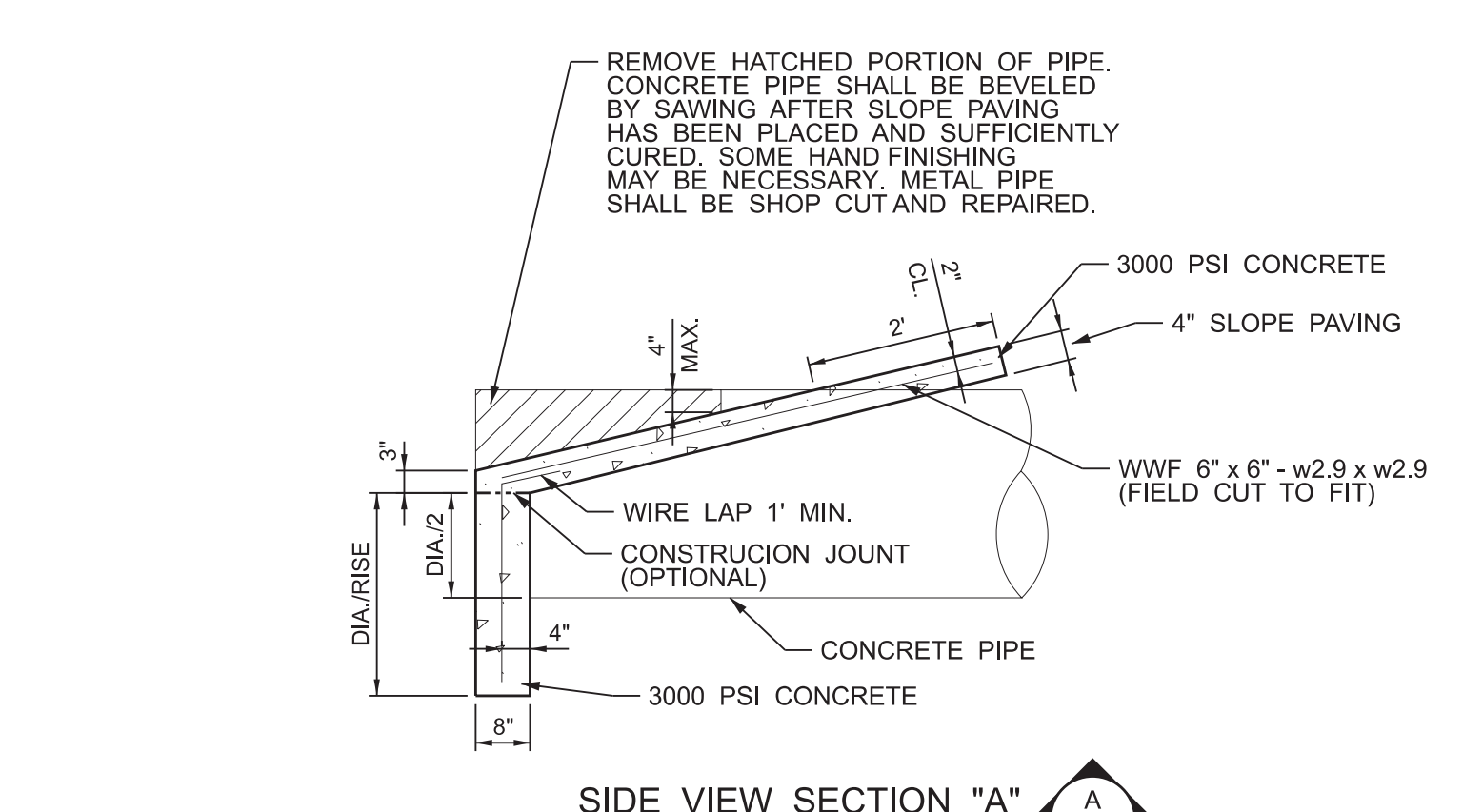


DETAIL - TYPICAL LOT GRADING
 SCALE: NONE

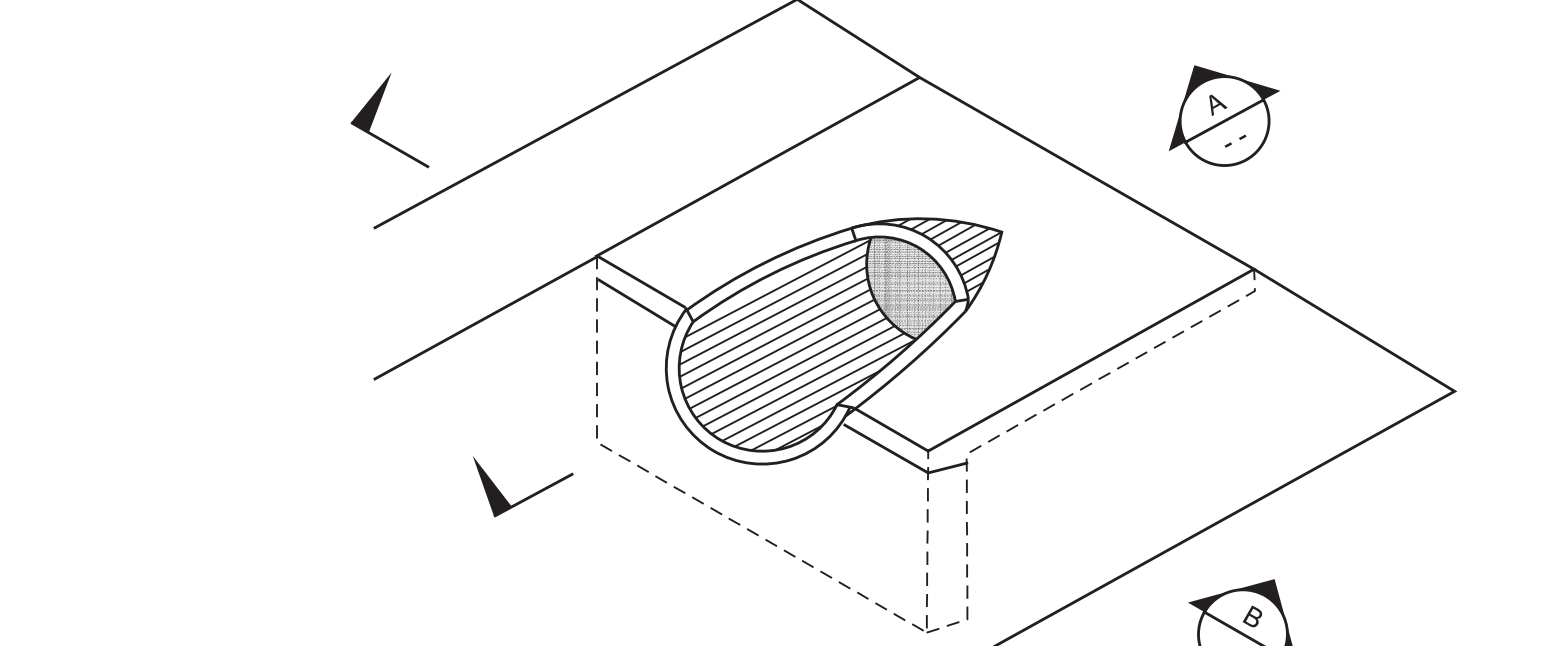
PIPE SIZE	HOLE SIZE	W"	"L"	"H"	"A"	"B"	"C"	"D"	"E"	"F"	"G"	QTY OF DISSIPATORS	WEIGHT
18" RCP	22"	63"	54"	43"	42"	24"	27"	16"	5"	6.5"	4"	3	3,605 Lbs.
24" RCP	28"	78"	66"	51"	51"	29"	33"	18"	5"	8"	4"	(2 ROWS)	5,488 Lbs.
30" RCP	40"	110"	60"	72"	64"	50"	48"	18"	6"	8"	6"	(2 ROWS)	9,979 Lbs.
42" RCP	54"	146"	74"	87"	80"	70"	63"	27"	16"	16.5"	6"	11	15,637 Lbs.
48" RCP	62"	172"	88"	98"	89"	80"	74"	33"	6"	9"	8"	(2 ROWS)	21,676 Lbs.
54" RCP	70"	172"	88"	98"	89"	80"	74"	33"	6"	9"	8"	(3 ROWS)	21,676 Lbs.



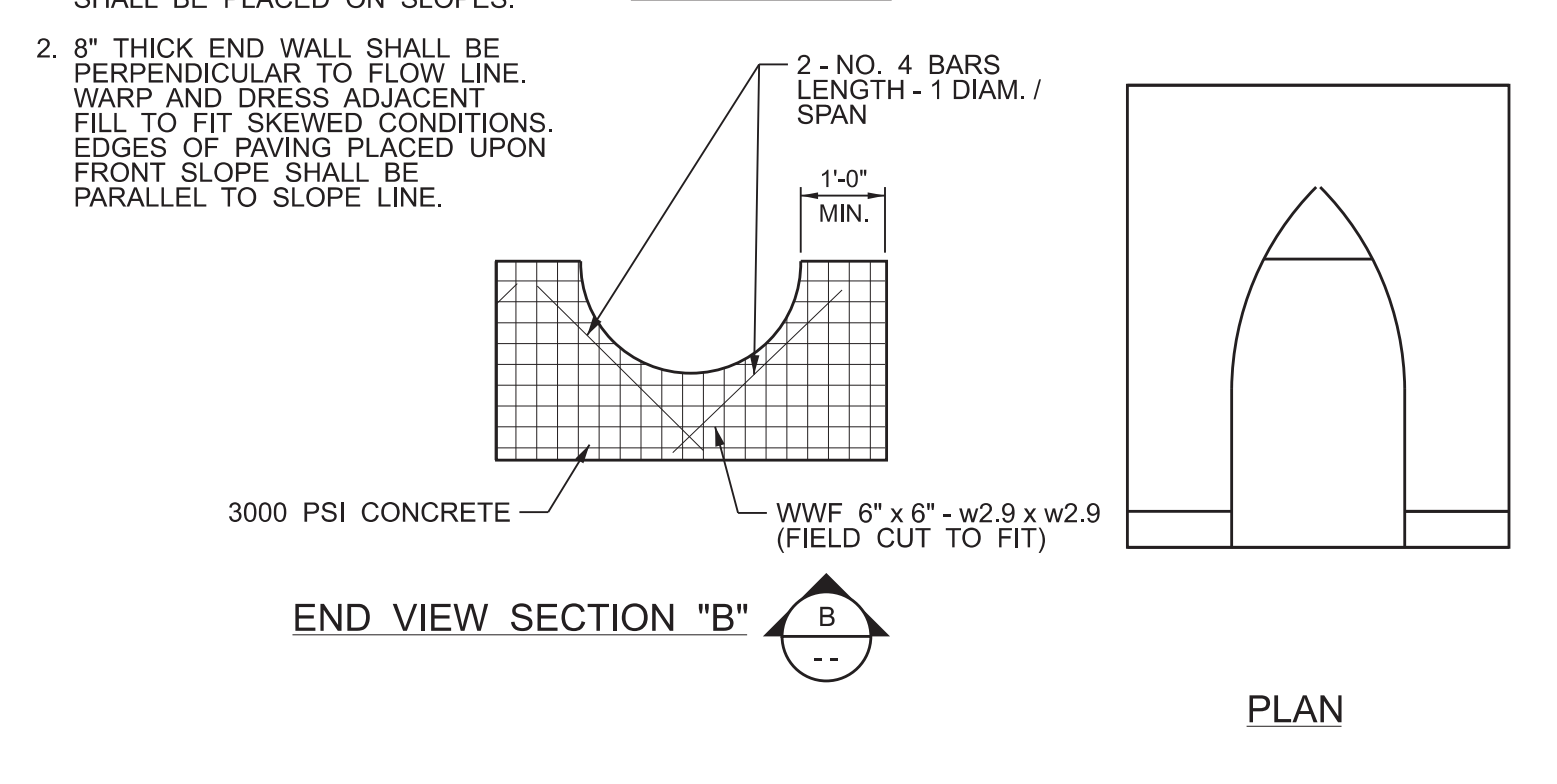
DETAIL - HEADWALL WITH ENERGY DISSIPATOR
 SCALE: NONE



SIDE VIEW SECTION "A"



GENERAL NOTES:
 1. THE FILL SHALL BE PLACED AND FINISHED AND ALL SHORING REMOVED BEFORE ANY CONCRETE SHALL BE PLACED ON SLOPES.
 2. 8" THICK END WALL SHALL BE PERPENDICULAR TO FLOW LINE. WARP AND DRESS ADJACENT FILL TO FIT SKEWED CONDITIONS. EDGES OF PAVING PLACED UPON FRONT SLOPE SHALL BE PARALLEL TO SLOPE LINE.



DETAIL - SLOPE PAVED HEADWALL
 SCALE: NONE

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DANSBY
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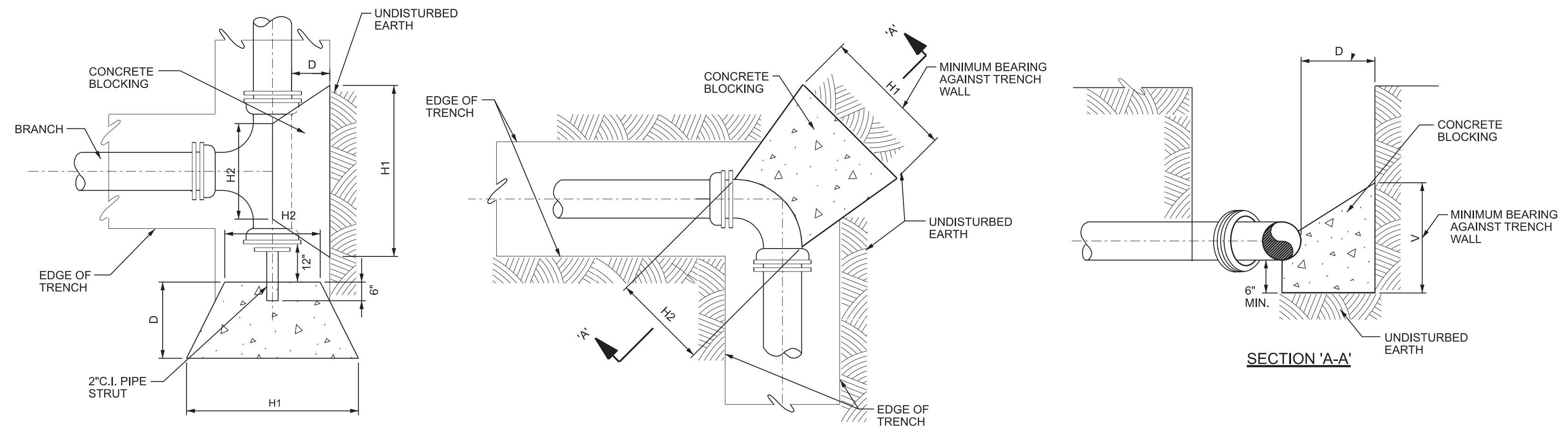
ALABAMA REGISTERED PROFESSIONAL ENGINEER
 JAMES M. CASADY
 1/18/23

THIS SHEET CONTAINS:
 MISCELLANEOUS
 DETAILS

SCALE: AS NOTED
 SHEET 43 OF 44

DT-2

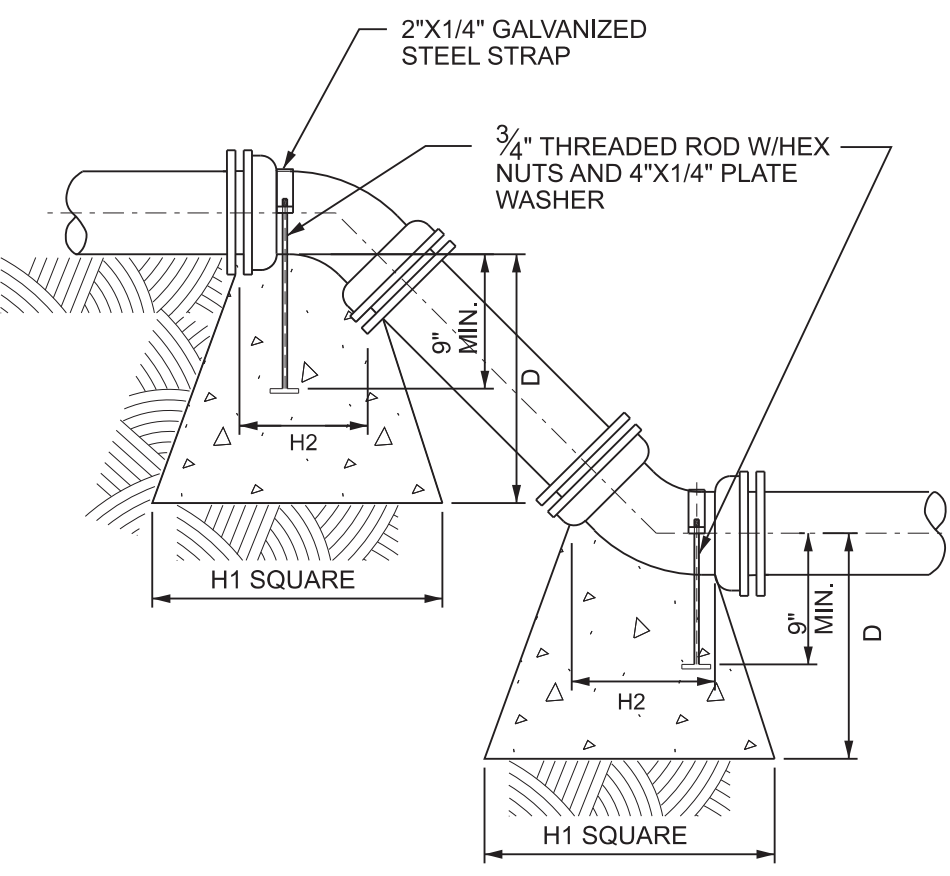
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TEES, CROSSES AND PLUGS

HORIZONTAL BENDS

NOTE: DIMENSIONS ARE CONTROLLED BY DIAMETER OF BRANCH MAIN.

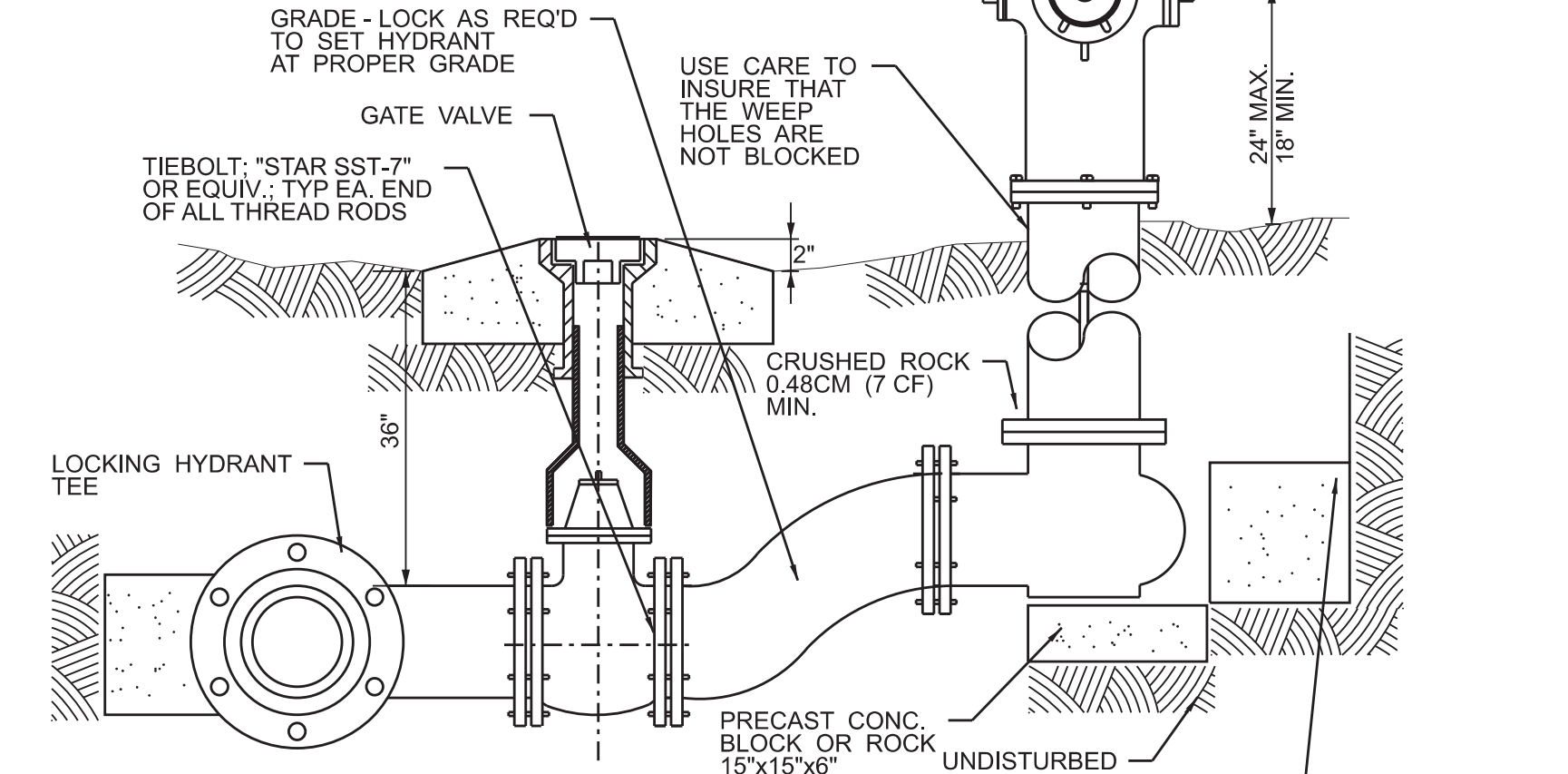


VERTICAL BENDS

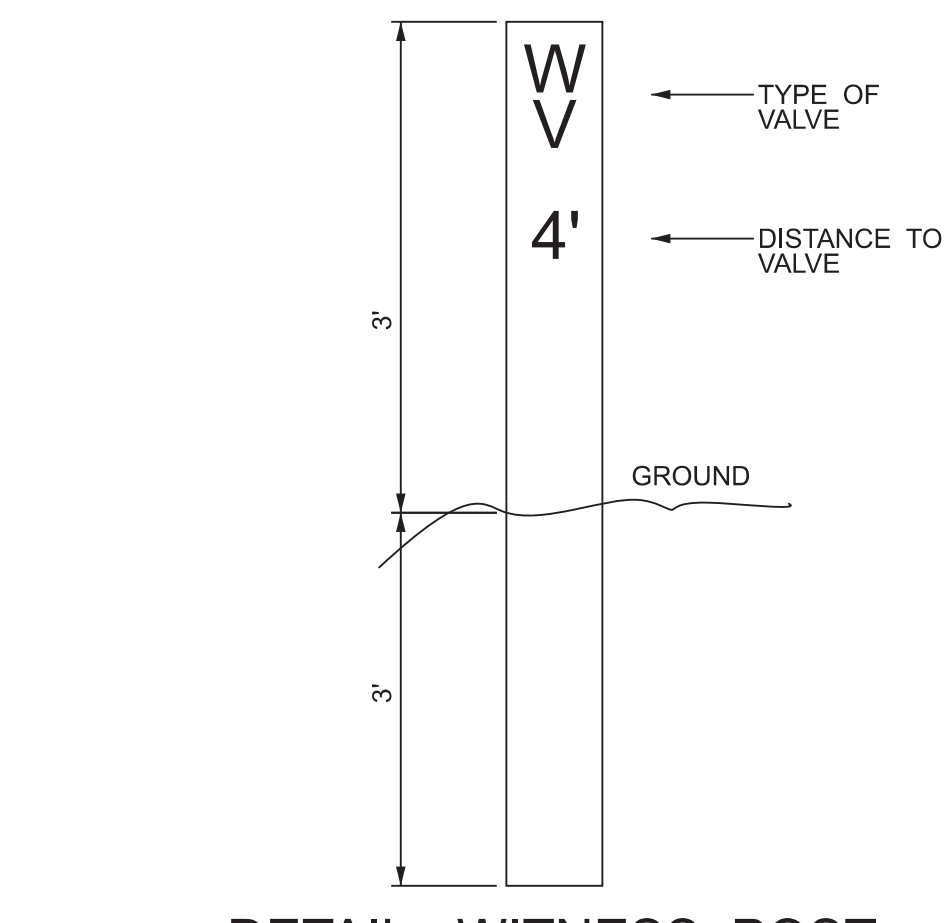
TABLE OF DIMENSIONS FOR CONCRETE BLOCKERS																									
TEES, CROSSES & PLUGS					90° BENDS					45° BENDS					22-1/2° BENDS					11-1/4° BENDS					PIPE SIZE
H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	
18"	10"	12"	18"	1.90	18"	10"	12"	18"	1.90	18"	6"	12"	18"	1.50	18"	6"	12"	18"	1.50	18"	6"	12"	18"	1.50	2" & 2-1/4"
24"	12"	12"	18"	2.25	24"	12"	12"	18"	2.25	18"	8"	12"	18"	1.60	18"	8"	12"	18"	1.60	18"	8"	12"	18"	1.60	3" & 4"
24"	16"	18"	18"	3.50	30"	16"	18"	18"	4.05	24"	10"	16"	18"	3.20	24"	10"	16"	18"	3.20	24"	10"	16"	18"	3.20	6"
36"	18"	18"	18"	5.05	39"	18"	24"	18"	7.30	30"	11"	18"	18"	3.95	30"	11"	18"	18"	3.95	24"	11"	16"	18"	3.40	8"
48"	24"	18"	24"	7.15	54"	32"	24"	18"	10.25	24"	18"	21"	18"	4.60	24"	18"	21"	18"	4.60	24"	18"	21"	18"	4.60	10"
54"	30"	24"	24"	13.4	54"	32"	36"	24"	18.15	42"	18"	24"	24"	9.60	24"	18"	24"	24"	6.60	24"	18"	21"	24"	6.10	12"
60"	32"	30"	24"	17.9	60"	40"	42"	24"	25.00	44"	30"	30"	24"	13.2	30"	24"	24"	24"	9.20	27"	21"	24"	24"	7.90	14"
66"	34"	36"	24"	22.5	69"	48"	48"	24"	29.00	48"	30"	36"	24"	17.0	36"	30"	27"	24"	11.80	27"	24"	27"	24"	9.10	16"
66"	36"	40"	24"	27.5	69"	48"	48"	24"	33.00	48"	30"	36"	24"	17.0	36"	30"	29"	24"	13.0	27"	30"	29"	24"	11.0	18"
38"		24"			48"		24"			40"		24"			36"		24"			30"	40"		28"		20"
42"		24"			60"		24"			48"		24"			42"		24"			42"		32"	24"		24"
58"		24"			96"		24"			72"		24"			72"		24"			48"		36"	24"		30"

DETAIL - PIPE BRACING
SCALE: NONE

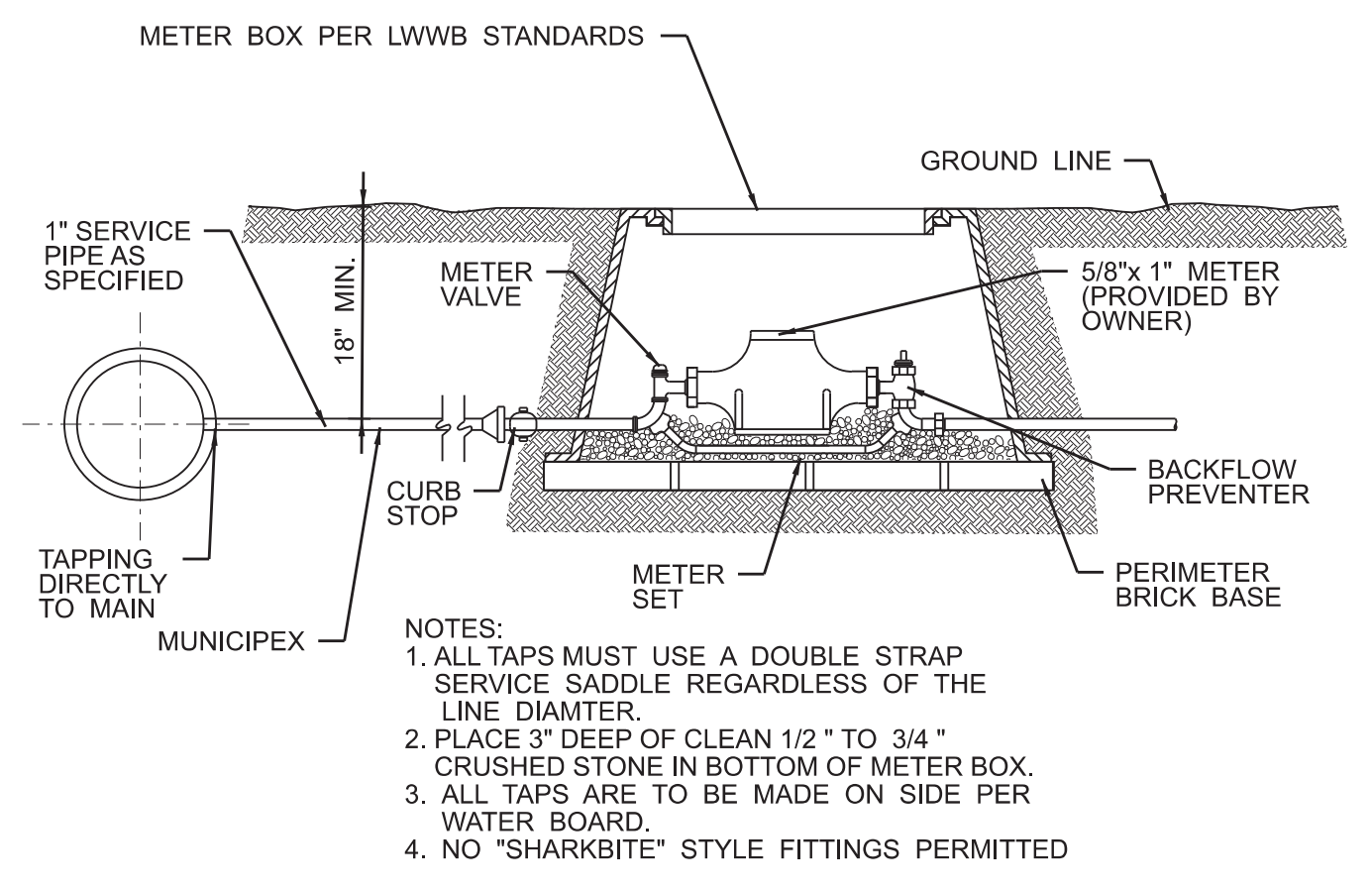
- NOTES:
- OPERATING NUT, DIRECTION OF OPENING, CAP NUT AND THREAD AND CONNECTIONS MUST BE APPROVED IN WRITING BY THE OWNER AS CONFORMING TO THEIR STANDARDS.
 - WRAP HYDRANT BASE AND TEE w/POLETHYLENE TO PREVENT BONDING TO CONCRETE.
 - ALL MECH. JOINTS AT THE MAIN CONNECTION TEE AND BRANCH SHALL BE RESTRAINED WITH "Mega-Lug" OR EQUAL.



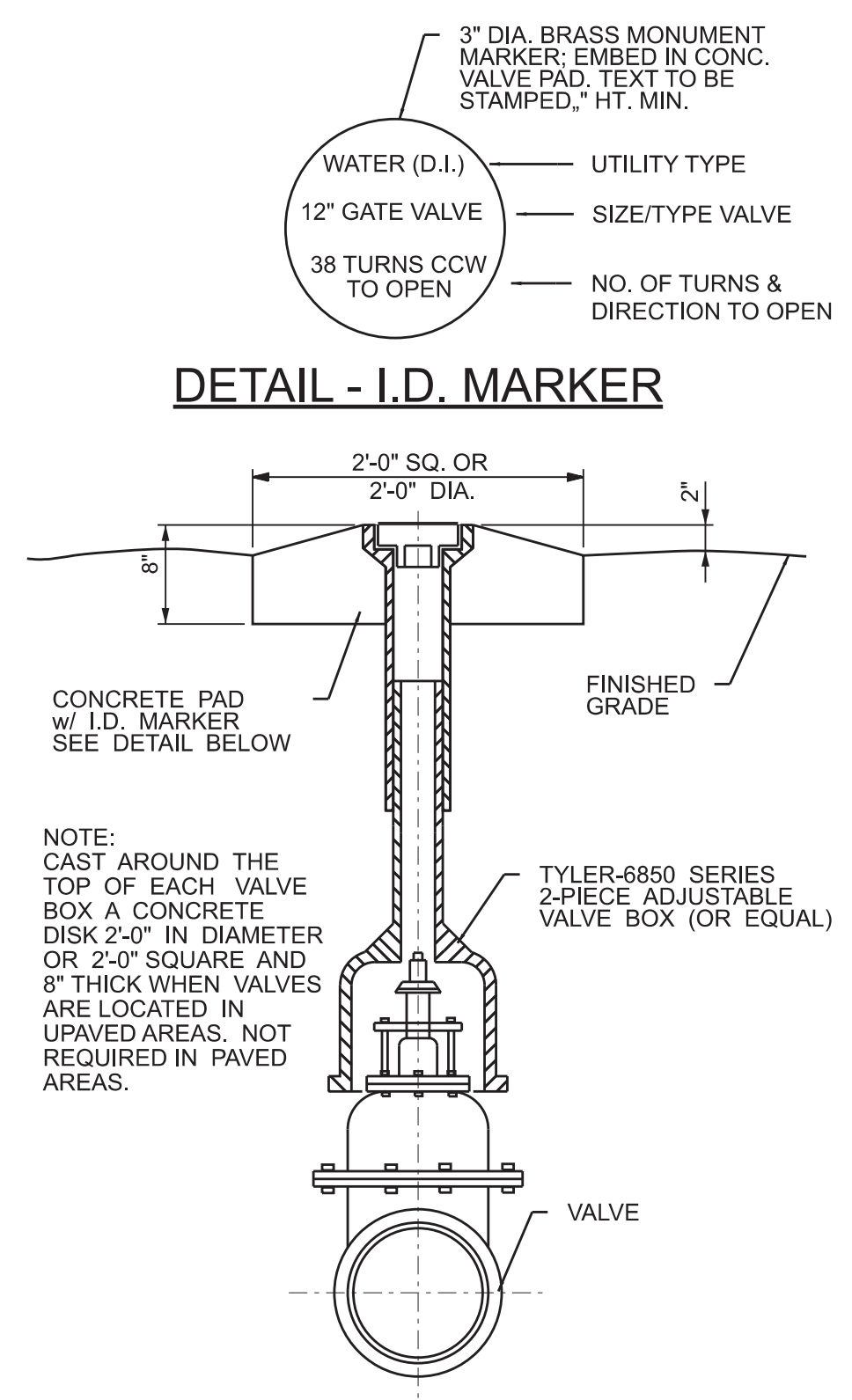
DETAIL - TYPICAL FIRE HYDRANT SETTING
SCALE: NONE



DETAIL - WITNESS POST
SCALE: NONE

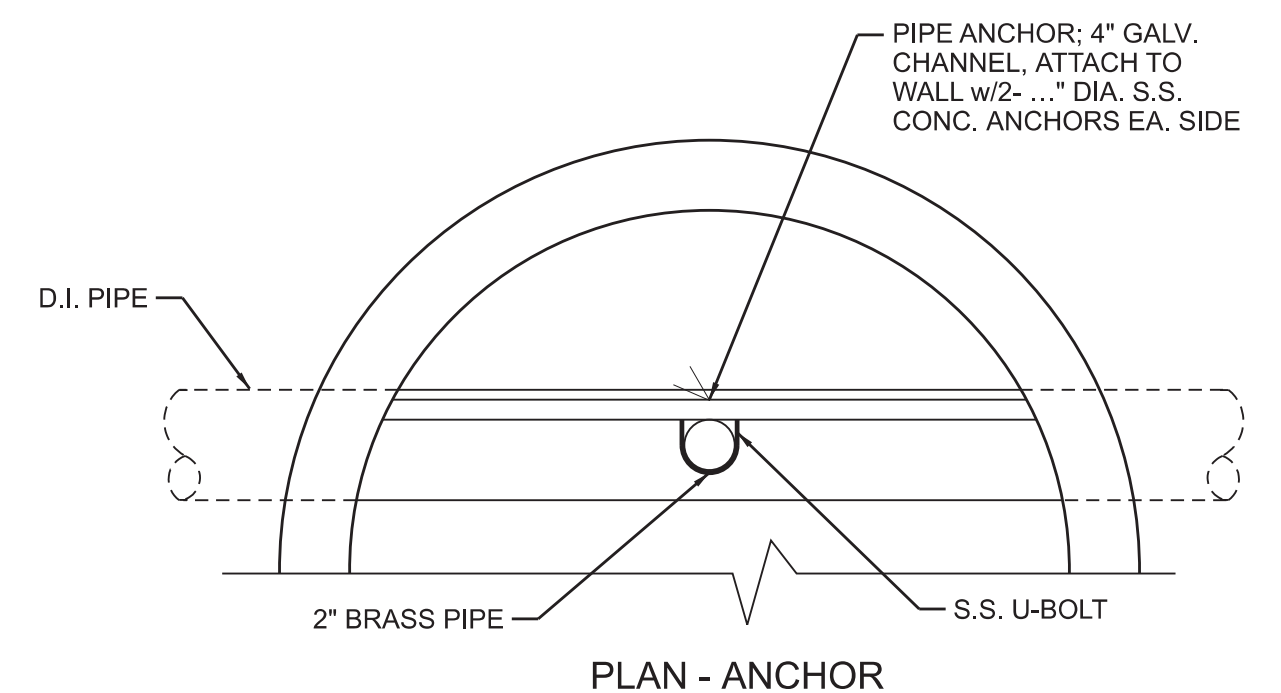


DETAIL - TYPICAL WATER SERVICE ASSEMBLY
SCALE: NONE

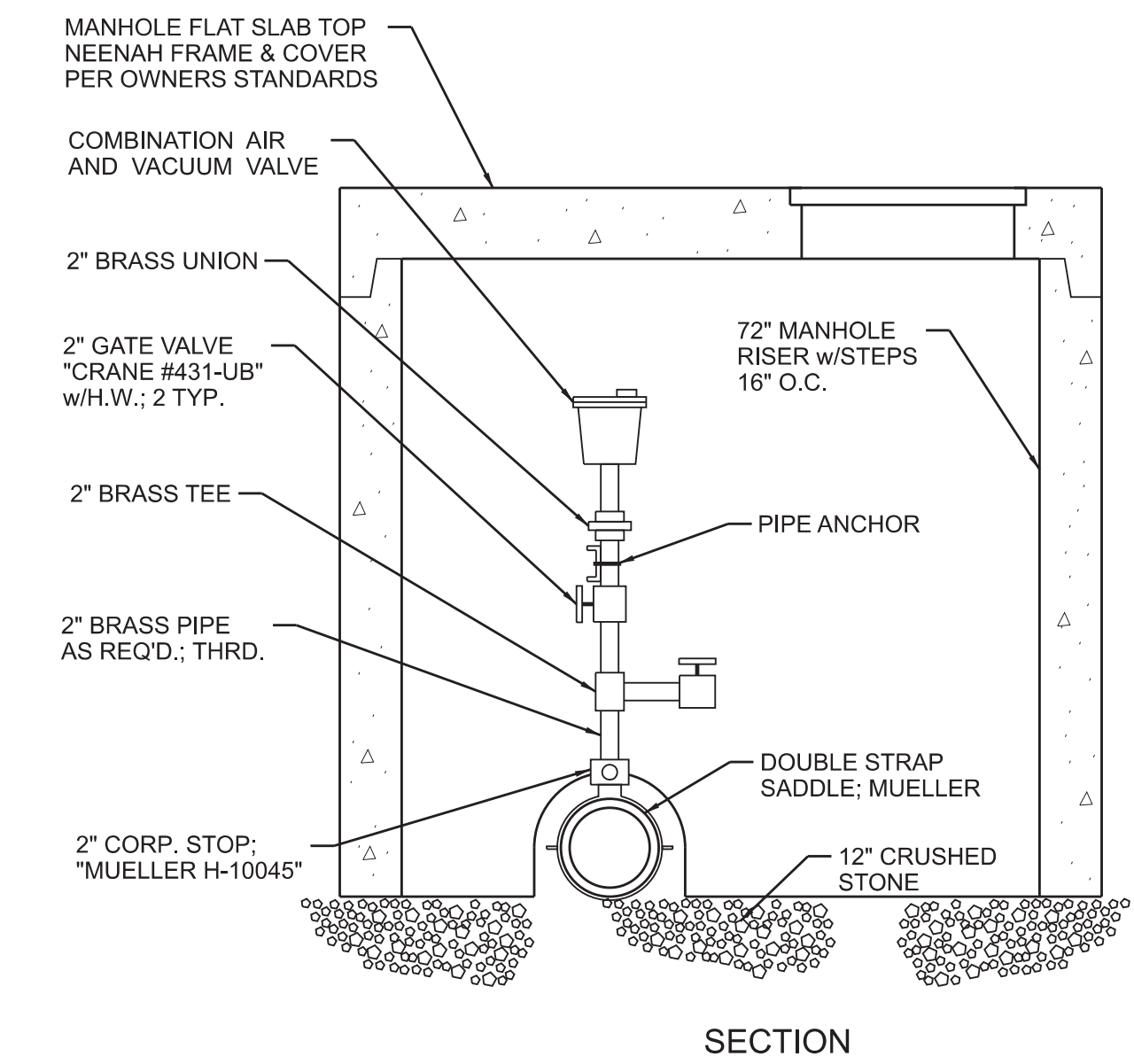


DETAIL - I.D. MARKER

DETAIL - TYPICAL VALVE BOX SETTING
SCALE: NONE



PLAN - ANCHOR



DETAIL - AUTOMATIC AIR RELEASE VALVE
SCALE: NONE

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PROJECT INFO:
INSITE JOB No. 22098.00
PLOTTED: 1/18/23

REGISTERED PROFESSIONAL ENGINEER
JAMES M. CASIDY
1/18/23

THIS SHEET CONTAINS:
UTILITY DETAILS

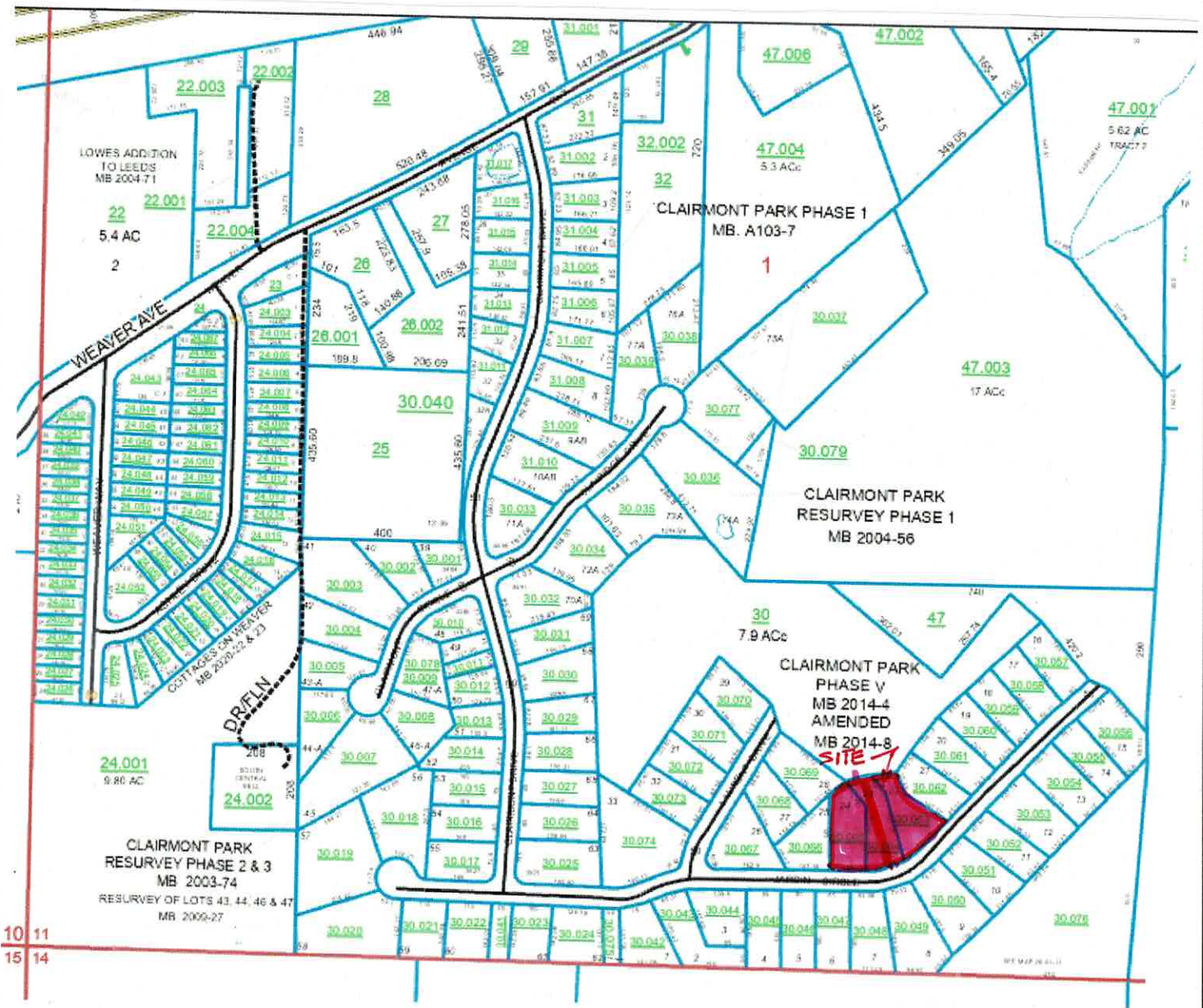
SCALE: AS NOTED
SHEET 44 OF 44

DT-3

THE DRAWING AND DESIGN ARE THE PROPERTY OF INSITE ENGINEERING, LLC. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF INSITE ENGINEERING, LLC IS STRICTLY PROHIBITED.

File Attachments for Item:

4. SA23-000004 - An application by MTTR Engineers, Inc., for subdivision plat approval has been filed with the City of Leeds Planning and Zoning Commission for "RESURVEY OF LOTS 22-24 OF CLAIRMONT PARK PHASE V". This proposed subdivision consists of 2 lots located at 0 Jardin Cir, TPID (s) 2601110001030065, 064, & 063, Zoned R-5, Garden Home District, St. Clair Co.



RESURVEY OF LOTS 22, 23 AND 24 CLAIRMONT PARK PHASE V

BEING A RESURVEY OF LOTS 22, 23 AND 24 OF
THE SURVEY OF CLAIRMONT PARK PHASE V
AS RECORDED IN MAP BOOK 2014 PAGE 8, ST. CLAIR CO AL
SITUATED IN THE SW 1/4 OF SECTION 11 TOWNSHIP 17 SOUTH,
RANGE 1 EAST, CITY OF LEEDS, ST. CLAIR COUNTY, ALABAMA

THE PURPOSE OF THIS RESURVEY IS TO COMBINE THREE LOTS INTO TWO LOTS.
FOR RESIDENTIAL LOTS.

VICINITY MAP
PREPARED BY
JOSEPH A. MILLER, III
PE/LS 17054

MTRR ENGINEERS, INC.
3 Riverchase Ridge
Hoover, Al. 35244
TELEPHONE (205) 320-0114



NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
Planning and Zoning Commission

Application for Subdivision RESURVEY OF LOTS 22-24 OF CLAIRMONT PARK PHASE V

APPLICATION

An application for subdivision plat approval has been filed with the City of Leeds Planning and Zoning Commission for "RESURVEY OF LOTS 22-24 OF CLAIRMONT PARK PHASE V". This proposed subdivision consists of 2.

PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission is vested with the responsibility and authority of determining conformity with the City of Leeds Subdivision Regulations

CASE #:	SA23-000004
APPLICANT NAME:	BEL AIR PROPERTIES LLC
PROPERTY OWNER:	2601110001030063
TAX PARCEL ID#S:	0.00000000 JARDIN CIR; LEEDS, AL 35094
CASE ADDRESS:	

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on.

Date: 03/09/2023

Time: 5:00 p.m.

Place: Leeds Annex Meeting Room
1412 9th St
Leeds, AL 35094

Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission.

For more information about the application and related issues or to schedule an appointment:

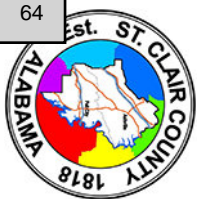
Contact Person: Brad Watson

Phone: 205-699-0907

E-mail: development@leedsalabama.gov

Mailing Address:

City of Leeds
Planning and Zoning commission
1404 9th Street
Leeds, AL 35094



Provided by the St. Clair County
Revenue Commissioner
Kenneth L. Crowe

Maps to be used for tax purposes only -
Not to be used for conveyance
Map Data is in NAD 1983 State Plane
Alabama East Feet.



RESURVEY OF LOTS 22, 23 AND 24 CLAIMMONT PARK PHASE V

BEING A RESURVEY OF LOTS 22, 23 AND 24 OF
THE SURVEY OF CLAIMMONT PARK PHASE V
AS RECORDED IN MAP BOOK 2014 PAGE 8, ST. CLAIR CO AL
SITUATED IN THE SW 1/4 OF SECTION 11 TOWNSHIP 17 SOUTH,
RANGE 1 EAST, CITY OF LEEDS, ST. CLAIR COUNTY, ALABAMA

THE PURPOSE OF THIS RESURVEY IS TO COMBINE THREE LOTS INTO TWO LOTS
FOR RESIDENTIAL LOTS.



STATE OF ALABAMA
JEFFERSON COUNTY

THE UNDERSIGNED, JOSEPH A. MILLER III, SURVEYOR, AND KELLY WASHBURN, FOR BEL AIR PROPERTIES, LLC, OWNER HEREBY CERTIFY THAT THIS PLAT OR MAP WAS MADE PURSUANT TO A SURVEY MADE BY SAID SURVEYOR AND THIS PLAT OR MAP WAS MADE AT THE INSTANCE OF SAID OWNER, THAT THIS PLAT OR MAP IS A TRUE AND CORRECT MAP OF LANDS SHOWN THEREIN AND KNOWN OR TO BE KNOWN AS RESURVEY OF LOTS 22, 23 AND 24, CLAIMMONT PARK PHASE V, SHOWING THE SUBDIVISIONS INTO WHICH IT IS PROPOSED TO DIVIDE SAID LANDS, GIVING THE LENGTH AND BEARINGS OF EACH LOT AND ITS NUMBER, SHOWING STREETS, ALLEYS, AND PUBLIC GROUNDS, GIVING THE BEARINGS, LENGTH, AND WIDTH AND NAME OF EACH STREET, AND SHOWING THE RELATION OF THE LANDS TO THE SURVEY OF CLAIMMONT PARK PHASE V AS RECORDED IN MAP BOOK 2014, PAGE 8 IN THE JUDGE OF PROBATE OFFICE OF ST. CLAIR COUNTY, ALABAMA, SITUATED IN THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 17 SOUTH, RANGE 1 EAST, JEFFERSON COUNTY, ALABAMA, AND THAT IRON PINS HAVE BEEN LOCATED OR INSTALLED AT ALL LOT CORNERS AND CURVE POINTS AS SHOWN AND DESIGNATED BY SMALL OPEN CIRCLES ON SAID PLAT OR MAP.
NO STREET DEDICATIONS BY THIS MAP, THEREFOR THE USUAL STREET DEDICATION IS OMITTED.

Joseph A. Miller, III, PE/PLS
AL Reg. No. 17054
MTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
3 RIVERCHASE RIDGE
HOOVER, ALABAMA 35244

KELLY WASHBURN, BEL AIR PROPERTIES, LLC DATE

State of Alabama
Jefferson County)

I, _____ as Notary Public in and for said County and State, do hereby certify that Joseph A. Miller, III, whose name is signed to the foregoing certificate, and who is known to me, acknowledged before me on this date, that after having been duly informed of the contents of said certificate, he executed same voluntarily as such authorized representative and with authority thereof.

Given under my hand and seal this _____ day of _____ 2023.

Notary Public
My commission expires: _____

State of Alabama
Jefferson County)

I, _____ as Notary Public in and for said County and State, do hereby certify that KELLY WASHBURN, whose name is signed to the foregoing certificate as an authorized representative for BEL AIR PROPERTIES, LLC and who is known to me, acknowledged before me on this date, that after having been duly informed of the contents of said certificate, he executed same voluntarily as such authorized representative and with authority thereof.

Given under my hand and seal this _____ day of _____ 2023.

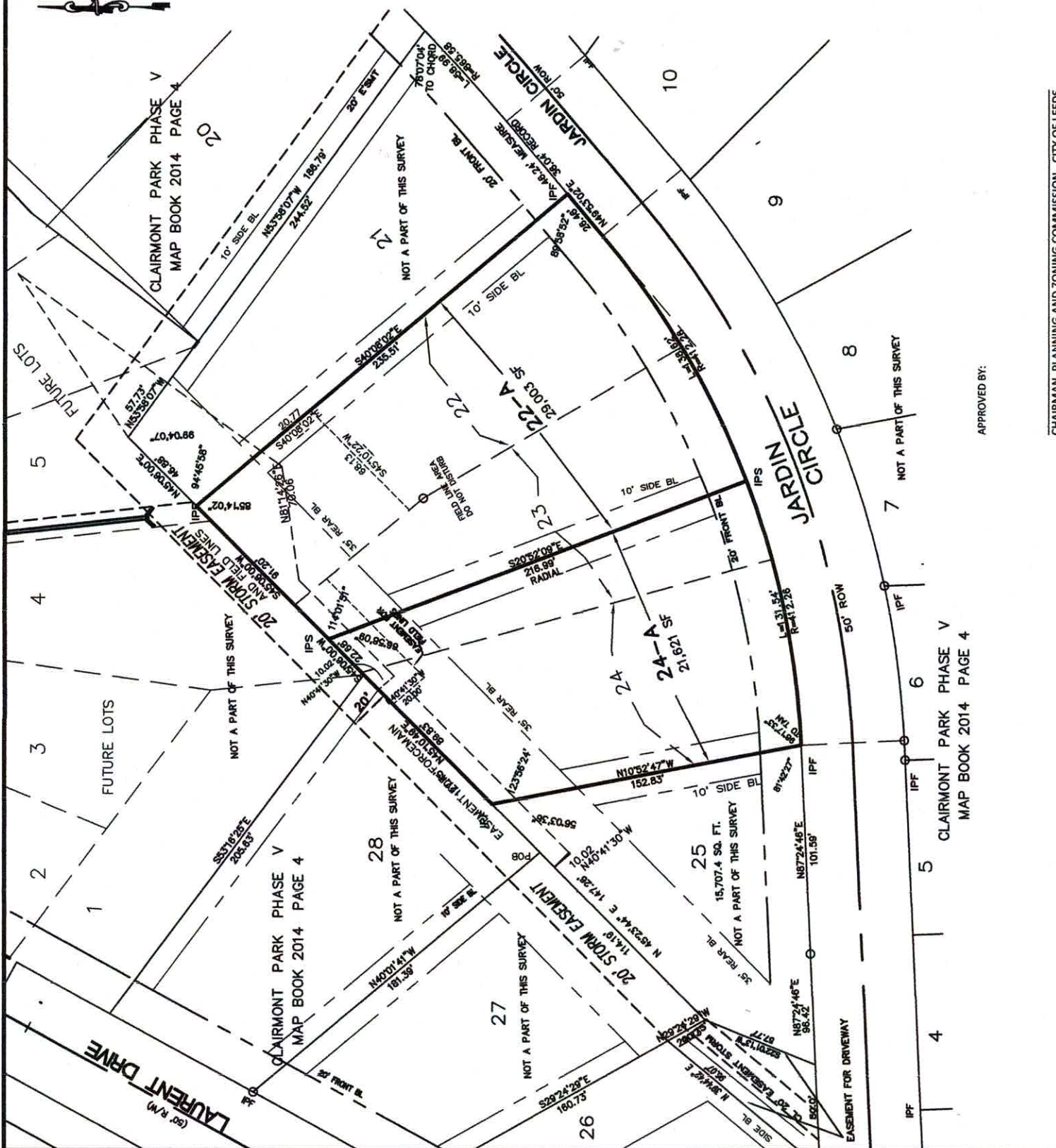
Notary Public
My commission expires: _____

OWNER'S CERTIFICATE AND DEDICATION. I, KELLY WASHBURN FOR BEL AIR PROPERTIES, LLC, do hereby certify that we are the owners of and only person having any right, title or interest in the land shown on the plat of CLAIMMONT PARK PHASE V, and that the plat represents a correct survey of the above described property made with our consent, and that we hereby dedicate to the public use all the streets as shown on said plat. The easements as shown on the plat are created for the installation and maintenance of public utilities. We hereby guarantee a clear title to all lands so dedicated from ourselves and our heirs or assigns forever, and have caused the same to be released from all encumbrances so that the title is clear, except as shown in the abstractor's certificate.

RESTRICTIONS: NONE

Witness: _____ hand this _____ day of _____ 2023.

NOTES
1. THE CITY OF LEEDS IS NOT RESPONSIBLE FOR DITCH OR PIPE MAINTENANCE OUTSIDE OF PUBLIC STREET RIGHT OF WAYS.
2. ALL EASEMENTS OUTSIDE OF STREET ROW TO BE MAINTAINED BY HOME-OWNERS ASSOCIATION AND/OR THE INDIVIDUAL LOT OWNER.
3. SITE IS NOT IN A FLOOD HAZARD AREA PER FIRM MAP NO. 07073004-1-H DATE: SEPTEMBER 24, 2021.
4. ALL ROAD ROWS ARE EXISTING CITY OF LEEDS PUBLIC STREETS, NO NEW ROW DEDICATED BY THIS MAP.
5. BASIS OF BEARINGS: CLAIMMONT PARK PHASE V RECORD MAP.
6. NO FENCES ALLOWED IN DRAINAGE EASEMENTS.
7. ALL EASEMENTS SHOWN ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS AND OPEN STORM DITCHES AND MAY BE USED FOR SUCH PURPOSES TO SERVE BOTH WITHIN AND WITHOUT THIS SUBDIVISION.
8. I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



DIRECTOR OF ENVIRONMENTAL SERVICES DATE
ENVIRONMENTAL SERVICES DEPARTMENT APPROVAL INDICATES THAT THIS DOCUMENT HAS BEEN REVIEWED FOR PROVISION OF FUTURE OR EXISTING SANITARY SEWERS, HOWEVER THIS DOES NOT MEAN SANITARY SEWERS HAVE BEEN BUILT OR WILL BE BUILT IN THE FUTURE. ANY CHANGE IN RIGHT OF WAY OR EASEMENT BOUNDARIES AFTER THIS DATE MAY VOID THIS APPROVAL.

SECRETARY, CITY OF LEEDS PLANNING COMMISSION

Chairman, Planning Commission
CITY OF LEEDS, CITY ENGINEER

OWNER:
BEL AIR PROPERTIES, LLC
KELLY WASHBURN
P.O. BOX 9
LEEDS, ALABAMA 35084
TELEPHONE 205-281-2408

ENGINEER/SURVEYOR:
JOSEPH A. MILLER
PE / LS 17054
MTR ENGINEERS, INC.
3 RIVERCHASE RIDGE
HOOVER, ALABAMA 35244
TELEPHONE (205) 320-0114

